





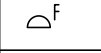
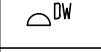
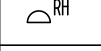

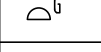
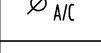
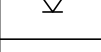
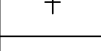
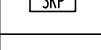
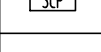
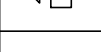
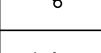
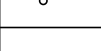
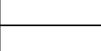
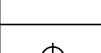
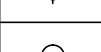

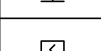

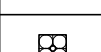
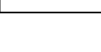


ELECTRICAL LEGEND		
REFER TO FINISHES SCHEDULE (IF APPLICABLE)		LOCATION
	DISTRIBUTION BOARD	WALL MOUNTED
	ELECTRICAL METER BOX	WALL MOUNTED
	GAS METER BOX	WALL MOUNTED
	SINGLE GPO OUTLET	200mm ABOVE FFL
	DOUBLE GPO OUTLET	200mm ABOVE FFL
	WEATHERPROOF SINGLE SWITCH GPO OUTLET	1100mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR FRIDGE	1100mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR DISHWASHER	ADJACENT EQUIPMENT
	DEDICATED SINGLE GPO OUTLET FOR RANGEHOOD	1800mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR LAUNDRY	1100mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR GARAGE	SURFACE MOUNTED
	SINGLE PHASE ISOLATED FOR AIR CONDITIONING	ADJACENT EQUIPMENT
	TELEPHONE OUTLET	ADJACENT EQUIPMENT
	TELEVISION ARIEL OUTLET	200mm ABOVE FFL
	SECURITY KEYPAD PANEL	1500mm ABOVE FFL
	SECURITY CONTROL PANEL	WALL MOUNTED
	SECURITY SENSOR	SURFACE MOUNTED
	ONE-WAY LIGHT SWITCH	1100mm ABOVE FFL
	TWO-WAY LIGHT SWITCH	1100mm ABOVE FFL
	CIRCUIT/SWITCH LINE	WHERE REQUIRED
	FLUORESCENT LIGHTING	SURFACE MOUNTED
	BATTEN FIX LIGHT	SURFACE MOUNTED
	RECESSED DOWNLIGHT	CEILING RECESSED
	WALL LIGHT	1800mm ABOVE FFL
	SMOKE DETECTOR	CEILING MOUNTED
	EXHAUST FAN	CEILING RECESSED
	COMBINATION LIGHT/HEAT/FAN	CEILING RECESSED

TIMBER FRAME POWERPANEL CONSTRUCTION

SITeworks, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL

BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ELECTRICAL NOTES

ALL ELECTRICAL WORK, INCLUDING WIRING AND INSTALLATION, CARRIED OUT TO BE IN ACCORDANCE WITH AS3000

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

LOCATE ALL SERVICES (UNDERGROUND OR OTHERWISE) AND ASSOCIATED PIPEWORK, CABLING, ETC. VERIFY ALL REMOVAL OR TERMINATION BEFORE COMMENCEMENT OF ANY WORK

POSITIONING OF ELECTRICAL LAYOUTS AS SHOWN ARE INDICATIVE ONLY AND SUBJECTED TO PHYSICAL CONSTRUCTION LIMITATIONS

GPO POINTS LOCATIONS TO COMPLY WITH AS3000 AND WHERE POSSIBLE BE A MINIMUM 300mm FROM FFL UNLESS WHERE APPLICABLE LOCATED IN KITCHEN, LAUNDRY AND BATHROOM WHERE GPO POINTS SHALL BE 400mm FROM THE TOP OF BENCHES, BASINS AND SINKS

SMOKE ALARM SYSTEM TO COMPLY WITH AS3786 AND TO BE POWERED FROM THE CONSUMER MAINS SOURCE WITH 9V BATTERY BACKUP

SMOKE DETECTION SYSTEM TO COMPLY WITH AS1670 AND THE BCA REQUIREMENTS

WC EXHAUST FANS TO BE CONNECTED TO WC LIGHT SWITCHES

ALL EXHAUST FANS TO BE VENTED TO OUTSIDE

MAINS ELECTRICAL METER & MAINS GAS METER SERVICES TO BE LOCATED FOR EASY ACCESS FOR READING OF METERS

ENCUMBRANCE

REFER TO MEMORANDUM OF ENCUMBRANCE DOCUMENTATION FOR FULL DETAILS

AIR-CONDITIONERS
ANY EXTERNAL AIR-CONDITIONERS AND SOLAR HOT WATER SYSTEMS TO BE IN LOW PROFILE APPEARANCE AND LOCATED TOWARDS THE REAR OF THE DWELLING OR OTHERWISE LOCATED TO MINIMISE VISUAL IMPACT FORM PUBLIC VIEW
RAINWATER TANKS

EXTERNAL RAINWATER TANKS TO BE IN COLORBOND FINISH OR SIMILAR COATED FINISH OR PAINTED IN COLOUR TO MATCH OR COMPLEMENT THE MAIN DWELLING OR BOUNDARY FENCE AND LOCATED TOWARDS THE REAR OF THE DWELLING OR OTHERWISE LOCATED TO MINIMISE VISUAL IMPACT FORM PUBLIC VIEW

FENCING
BOUNDARY FENCE ADJOINING ALLOTMENTS TO BE 1.8m HIGH AND CONSTRUCTED FORM EITHER FEATURE FACE BRICK, MASONRY RENDER, FEATURE TIMBER OR COLORBOND STYLE IN WOODLAND GREY OR COMPARABLE COLOUR
- BOUNDARY FENCE SHOULD FINISH PARALLEL WITH THE MAIN STREET FRONT BUILDING LINE

FRONT FENCING ALONG STREET FRONTAGE SHOULD BE CONSTRUCTION FORM MATERIALS SUCH AS FEATURE BRICK, RENDER MASONRY OR SIMILAR, FEATURE POST AND RAIL TIMBER PICKET OR SIMILAR AND GENERALLY NOT MORE THAN 1.5m IN HEIGHT AND OF AN OPEN APPEARANCE

SITE NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

FOR LANDSCAPING DETAILS & REQUIREMENTS REFER TO COUNCIL (& OTHER AUTHORITY) APPROVAL CONDITIONS

BUILDER TO CHECK AND CONFIRM ALL SITE LEVELS AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

WRITTEN DIMENSION TO BE TAKEN IN PREFERENCE TO SCALE

FOUNDATIONS, EXCAVATIONS, REINFORCEMENT PLACEMENT, ETC. TO BE INSPECTED AND APPROVED BY ENGINEER OR BUILDING SURVEYOR PRIOR TO ANY CONCRETE PLACEMENT

NO VARIATION MAY BE MADE TO THIS DRAWING WITHOUT PRIOR APPROVAL OF THE PROPRIETOR OR ARCHITECT

STORMWATER TO BE DISCHARGED TO STREET WATERTABLE AND/OR RAINWATER TANK IN ACCORDANCE WITH COUNCIL REQUIREMENTS

PROVIDE MINIMUM 1000L RAINWATER TANK RWT.1 (WITH OVERFLOW & INSECT PROOF AND NON DEGRADABLE SCREENS) ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILETS WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

PROVIDE MINIMUM 2000L RAINWATER TANK RWT.2 DEDICATED FOR FIREFIGHTING PURPOSES AS PER MINISTER'S SPECIFICATION SA 78, MAY 2011

TERMITE CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH BCA PART 3.1.3 AND WITH AS3660.1. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660.1 METHOD OF APPLICATION TO BE KORDON PIPE PENETRATION WITH CHEMICAL PERIMETER TREATMENT, INCLUDING CERTIFICATE OF COMPLETION

ALL FENCES AND GATES UNLESS SPECIFICALLY NOMINATED TO BE CONSTRUCTED OF 1.8m HIGH GOOD NEIGHBOUR FENCING. ALL GATES TO BE FITTED WITH LOCKABLE LATCHES

ANY DISCREPANCIES IN DOCUMENTS AND/OR ON SITE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK IS COMMENCED

BUSHFIRE ZONE; BAL12.5 AREA
ALL WORK TO COMPLY WITH STANDARD BAL12.5 SPECIFICATION

RAINWATER TANK NOTE
RWT.1 - 1000L
RWT.2 - 1000L
RWT.3 - 1000L

NOTE: PROVIDE MIN. 1000L SLIMLINE RAINWATER TANK ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILETS WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

GLAZING NOTE:
PROVIDE FOLLOWING GLAZING TO ALL WINDOWS AND SLIDING DOORS;
GROUND FLOOR
U-VALUE = 6.7
SHGC = 0.70
SECOND FLOOR
U-VALUE = 6.7
SHGC = 0.70

INSULATION NOTE:
PROVIDE THE FOLLOW INSULATION TO;
R2.5 EXTERNAL WALLS
R2.0 INTERNAL WALLS
R4.5 CEILING

ARCHITECTURAL DRAWING LIST		
WD.000	TITLE SHEET	-
WD.100	SITE PLAN	1:200
WD.200	GROUND FLOOR PLAN	1:100
WD.201	UPPER FLOOR PLAN	1:100
WD.300	ROOF PLAN	1:100
WD.400	ELEVATIONS	1:100
WD.500	SECTION A - A	1:50
WD.501	SECTION B - B	1:50
WD.502	SECTION DETAILS	1:10
WD.503	SECTION DETAILS	1:10
WD.504	SECTION DETAILS	1:10
WD.600	GROUND FLOOR ELECTRICAL LAYOUT	1:100
WD.601	UPPER FLOOR ELECTRICAL LAYOUT	1:100

A	00.09.18	FOR BUILDING APPROVAL	MD
REV	DATE	COMMENT	DWN

FERRONE

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POSTAL ADDRESS

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FOR APPROVAL

CLIENT

U. & F. FARINA FAMILY TRUST

ADDRESS

71 EAST AVENUE
ALLENBY GARDENS SA 5009

PROJECT

PROPOSED 3x TWO STOREY DWELLINGS

SHEET TITLE:

TITLE SHEET

JOB REF:

17-FAR

DRAWN:

MD

SCALE:

NTS

DRAWING NO.

WD.000

DATE

SEPTEMBER 2018

CHECKED:

DF

PAPER:

A2

REVISION:

D

SITE NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

FOR LANDSCAPING DETAILS & REQUIREMENTS REFER TO COUNCIL (& OTHER AUTHORITY) APPROVAL CONDITIONS

BUILDER TO CHECK AND CONFIRM ALL SITE LEVELS AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

WRITTEN DIMENSION TO BE TAKEN IN PREFERENCE TO SCALE

FOUNDATIONS, EXCAVATIONS, REINFORCEMENT PLACEMENT, ETC. TO BE INSPECTED AND APPROVED BY ENGINEER OR BUILDING SURVEYOR PRIOR TO ANY CONCRETE PLACEMENT

NO VARIATION MAY BE MADE TO THIS DRAWING WITHOUT PRIOR APPROVAL OF THE PROPRIETOR OR ARCHITECT

STORMWATER TO BE DISCHARGED TO STREET WATERTABLE AND/OR RAINWATER TANK IN ACCORDANCE WITH COUNCIL REQUIREMENTS

PROVIDE MINIMUM 1000L RAINWATER TANK RWT.1 (WITH OVERFLOW & INSECT PROOF AND NON DEGRADABLE SCREENS) ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILETS WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

PROVIDE MINIMUM 2000L RAINWATER TANK RWT.2 DEDICATED FOR FIREFIGHTING PURPOSES AS PER MINISTER'S SPECIFICATION SA 78, MAY 2011

TERMITE CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH BCA PART 3.1.3 AND WITH AS3660.1. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3600.1 METHOD OF APPLICATION TO BE KORDON PIPE PENETRATION WITH CHEMICAL PERIMETER TREATMENT, INCLUDING CERTIFICATE OF COMPLETION

ALL FENCES AND GATES UNLESS SPECIFICALLY NOMINATED TO BE CONSTRUCTED OF 1.8m HIGH GOOD NEIGHBOUR FENCING. ALL GATES TO BE FITTED WITH LOCKABLE LATCHES

ANY DISCREPANCIES IN DOCUMENTS AND/OR ON SITE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK IS COMMENCED

ENCUMBRANCE

REFER TO MEMORANDUM OF ENCUMBRANCE DOCUMENTATION FOR FULL DETAILS
AIR-CONDITIONERS
ANY EXTERNAL AIR-CONDITIONERS AND SOLAR HOT WATER SYSTEMS TO BE IN LOW PROFILE APPEARANCE AND LOCATED TOWARDS THE REAR OF THE DWELLING OR OTHERWISE LOCATED TO MINIMISE VISUAL IMPACT FORM PUBLIC VIEW
RAINWATER TANKS
EXTERNAL RAINWATER TANKS TO BE IN COLORBOND FINISH OR SIMILAR COATED FINISH OR PAINTED IN COLOUR TO MATCH OR COMPLEMENT THE MAIN DWELLING OR BOUNDARY FENCE AND LOCATED TOWARDS THE REAR OF THE DWELLINGS OR OTHERWISE LOCATED TO MINIMISE VISUAL IMPACT FORM PUBLIC VIEW
FENCING
BOUNDARY FENCE ADJOINING ALLOTMENTS TO BE 1.8m HIGH AND CONSTRUCTED FORM EITHER FEATURE FACE BRICK, MASONRY RENDER, FEATURE TIMBER OR COLORBOND STYLE IN WOODLAND GREY OR COMPARABLE COLOUR
- BOUNDARY FENCE SHOULD FINISH PARALLEL WITH THE MAIN STREET FRONT BUILDING LINE

FRONT FENCING ALONG STREET FRONTAGE SHOULD BE CONSTRUCTION FORM MATERIALS SUCH AS FEATURE BRICK, RENDER MASONRY OR SIMILAR. FEATURE POST AND RAIL, TIMBER PICKET OR SIMILAR AND GENERALLY NOT MORE THAN 1.5m IN HEIGHT AND OF AN OPEN APPEARANCE

BUSHFIRE ZONE: BAL12.5 AREA
ALL WORK TO COMPLY WITH STANDARD BAL12.5 SPECIFICATION

RAINWATER TANK NOTE
RWT.1 - 1000L
RWT.2 - 1000L
RWT.3 - 1000L

NOTE: PROVIDE MIN. 1000L SUBLINE RAINWATER TANK ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILET'S WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

LEGEND

EM ELECTRICAL METER
GM GAS METER
HWU HOT WATER UNIT
AC AIR CONDITIONER UNIT
RWT RAIN WATER TANK
DP DOWN PIPE

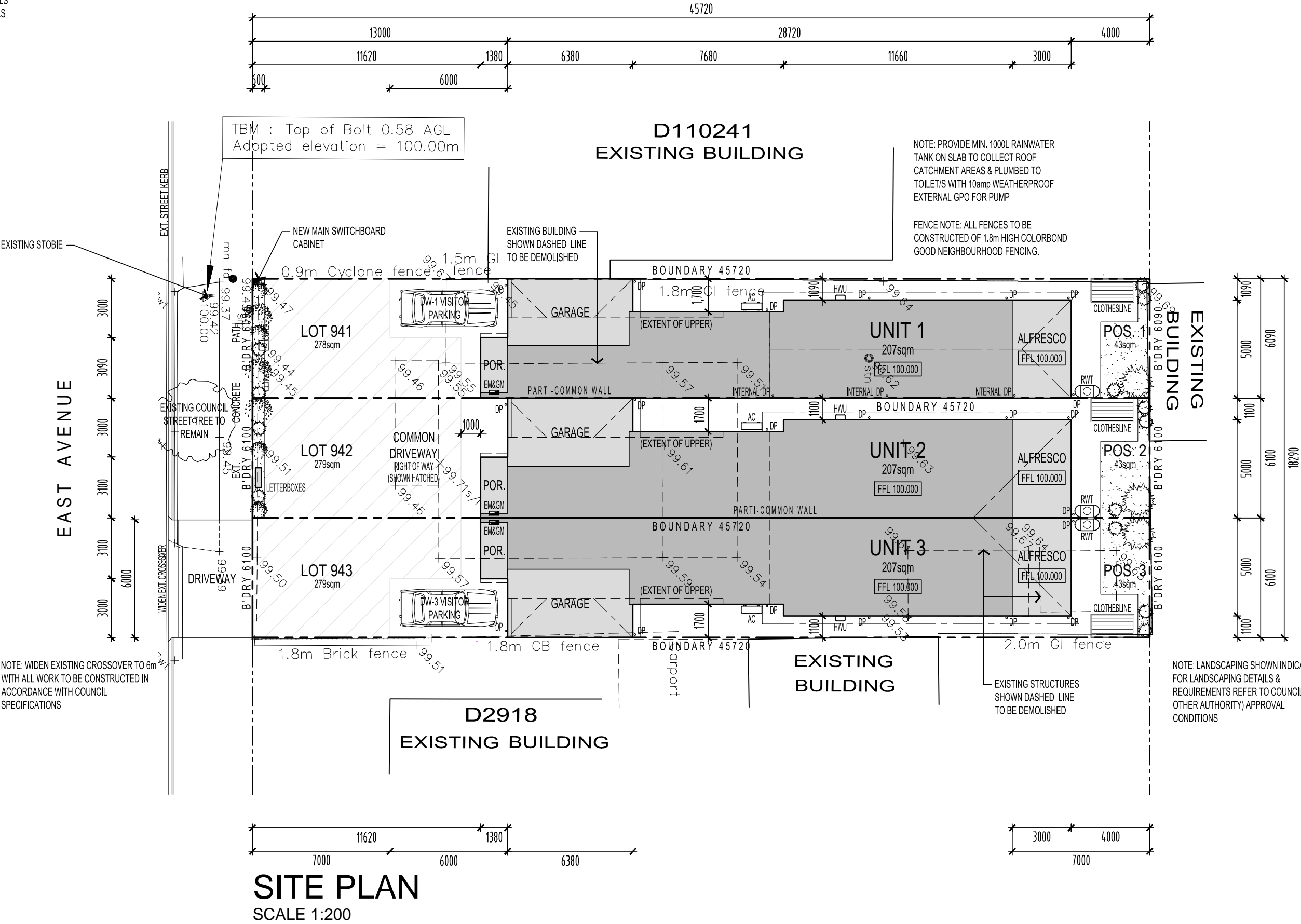
GLAZING NOTE:
PROVIDE FOLLOWING GLAZING TO ALL WINDOWS AND SLIDING DOORS;
GROUND FLOOR
U-VALUE = 6.7
SHGC = 0.70
SECOND FLOOR
U-VALUE = 6.7
SHGC = 0.70

INSULATION NOTE:
PROVIDE THE FOLLOW INSULATION TO;
R2.5 EXTERNAL WALLS
R2.0 INTERNAL WALLS
R4.5 CEILING

TIMBER FRAME POWERPANEL CONSTRUCTION

SITEWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL

BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION



SITE PLAN
SCALE 1:200

UNIT 1 AREAS		SQM
GROUND FLOOR	:	109.5
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.4
ALFRESCO	:	15.0
TOTAL BUILDING	:	210.2
SITE	:	278.4
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

UNIT 2 AREAS		SQM
GROUND FLOOR	:	109.1
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.9
ALFRESCO	:	15.0
TOTAL BUILDING	:	210.3
SITE	:	278.9
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

UNIT 3 AREAS		SQM
GROUND FLOOR	:	109.1
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.9
ALFRESCO	:	15.0
TOTAL BUILDING	:	210.3
SITE	:	278.9
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

DEMOLITION NOTES

BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

LOCATE ALL SERVICES (UNDERGROUND OR OTHERWISE) AND ASSOCIATED PIPEWORK, CABLING, ETC. VERIFY ALL REMOVAL OR TERMINATION BEFORE COMMENCEMENT OF ANY WORK

ERECT NECESSARY HOARDING AND PROP AS REQUIRED TO PROTECT EXISTING BUILDING AND ITEMS RETAINED

PROTECT ALL NEIGHBOURING PROPERTIES AND BUILDINGS DURING DEMOLITION

ALL EXISTING SURFACES, CEILINGS, WALLS, FLOORS AND THE LIKE TO BE PROTECTED DURING DEMOLITION AND NEW WORK

MAKE GOOD TO ALL WALLS, FLOORS AND SURFACES AFFECTED BY WORK CARRIED OUT DURING DEMOLITION

DIAL BEFORE YOU DIG
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT SERVICE PROVIDERS PLANS. CONTACT DIAL BEFORE YOU DIG ON PHONE 1100 FOR EXACT LOCATIONS OF SERVICES PRIOR TO CONSTRUCTION

D	01.02.18	NEW VISITOR CAR & MSB	DF
C	18.01.18	NEW VISITOR CAR & SET BACK	DF
B	29.11.17	COMMON PARTI-WALL	DF
A	17.11.17	FOR PLANNING APPROVAL	DF
REV	DATE	COMMENT	DWN

FERRONE

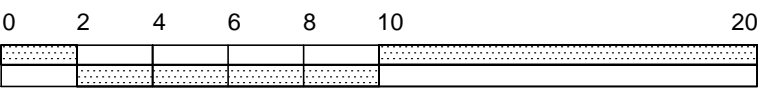
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FOR APPROVAL

CLIENT
U. & F. FARINA FAMILY TRUST
ADDRESS
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT
PROPOSED 3x TWO STOREY DWELLINGS
SHEET TITLE:
SITE PLAN

JOB REF: 17-FAR	DATE SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE 1:200	PAPER: A2
DRAWING NO. WD.100	REVISION: D

ORIGINAL DRAWING - A3 SIZE SHEET
SCALE 1:200



GENERAL NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL PLAN AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

WRITTEN DIMENSION TO BE TAKEN IN PREFERENCE TO SCALE

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

STAIRS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE BCA AT MAXIMUM 18 RISERS TO EACH FLIGHT. STAIRS TO HAVE A NON-SLIP FINISH OR SUITABLE NON-SKID STRIP

BALUSTRADE TO COMPLY WITH BCA PART 3.9.2 WITH HEIGHT NO LESS THAN 900mm ABOVE STAIR TREAD NOSING AND NO LESS THAN 1050mm ABOVE FINISHED FLOOR OR BALCONY

PROVIDE WATERPROOF SARKING TO UNDERSIDE OF ROOF TILES

ALL OPEN-ABLE UPPER LEVEL WINDOWS LESS THAN 1.7m FROM UPPER FFL MUST BE RESTRICT TO NOT ALLOW OPENING GREATER THAN 125mm

PROVIDE FIXED OBSCURE GLAZING TO WINDOWS 1.5m/1.7m ABOVE UPPER LEVEL (SHOWN DOTTED)

PROVIDE OBSCURE GLAZING TO WET AREA WINDOWS - BATHROOM, ENSUITE, WC, ETC. (WHERE SHOWN DOTTED)

SMOKE ALARM SYSTEM TO COMPLY WITH AS3786 ALL TO BE INTERCONNECTED AND POWERED FROM THE CONSUMER MAINS SOURCE WITH 9V BATTERY BACKUP

SMOKE DETECTION SYSTEM TO COMPLY WITH AS1670 AND THE BCA REQUIREMENTS

ALL EXHAUST FANS TO BE VENTED TO OUTSIDE

LATCH DEVICE AND OPERATION OF ALL REQUIRED EXIT DOORS, OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT, TO BE SELECTED & INSTALLED IN ACCORDANCE WITH BCA-02.21

WC TOILET TO ALLOW FOR OUTWARD OPENING OF DOOR OR PROVIDE REMOVABLE HINGES TO WC TOILET DOOR

ALL WATERPROOFING TO WET AREAS BE IN ACCORDANCE WITH AS3740-2004

EARLY FIRE HAZARD INDICES OF WALL, FLOOR, CEILING LININGS AND AIR-CONDITIONING DUCTWORK TO COMPLY WITH CLAUSE C1.10 OF THE BCA

REFER TO ENGINEERS DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE)

IF BUILDING IS WITHIN A CORROSION ZONE, ALL NAILS USED FOR STRUCTURAL WORK SHALL BE GALVANISED AS PER AS1214, AS1391 AND AS1650

PROVIDE MINIMUM 1000L RAINWATER TANK OR AS PER ENGINEER'S SPECIFICATION (WITH OVERFLOW & INSECT PROOF AND NON DEGRADABLE SCREENS) ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILET'S WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

TERMITE CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH BCA PART 3.1.3 AND WITH AS3660.1. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3600.1 METHOD OF APPLICATION TO BE KORDON PIPE PENETRATION WITH CHEMICAL PERIMETER TREATMENT, INCLUDING CERTIFICATE OF COMPLETION

ALL FENCES AND GATES UNLESS SPECIFICALLY NOMINATED TO BE CONSTRUCTED OF 1.8m HIGH COLORBOND GOOD NEIGHBOURHOOD FENCING, ALL GATES TO BE FITTED WITH LOCKABLE LATCHES FOR SECURITY

ANY DISCREPANCIES IN DOCUMENTS AND/OR ON SITE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK IS COMMENCED

SITWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL

BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

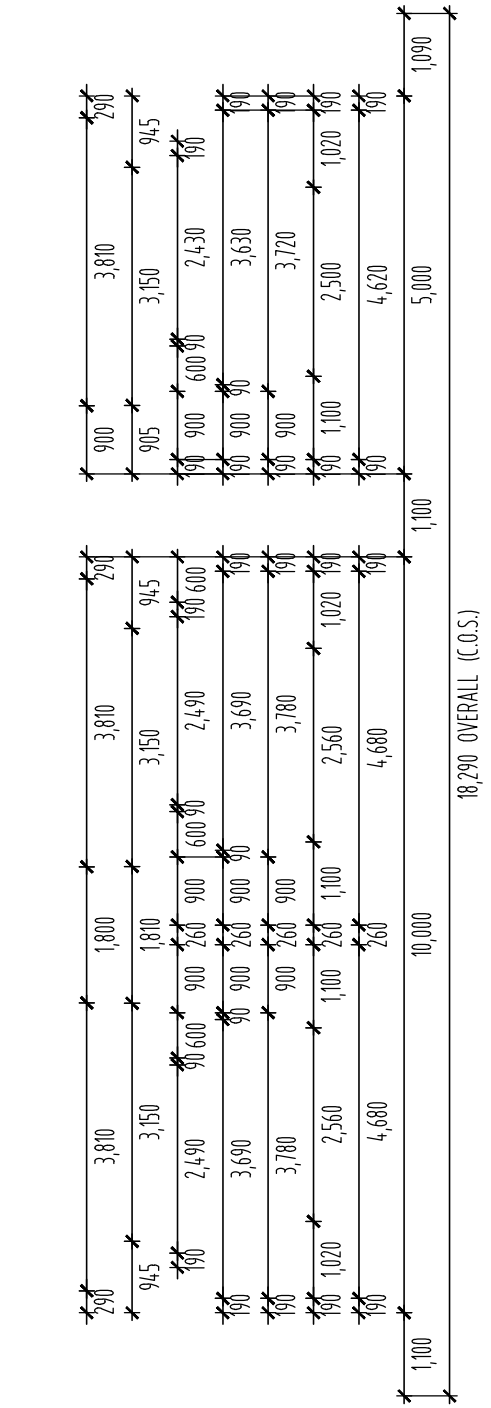
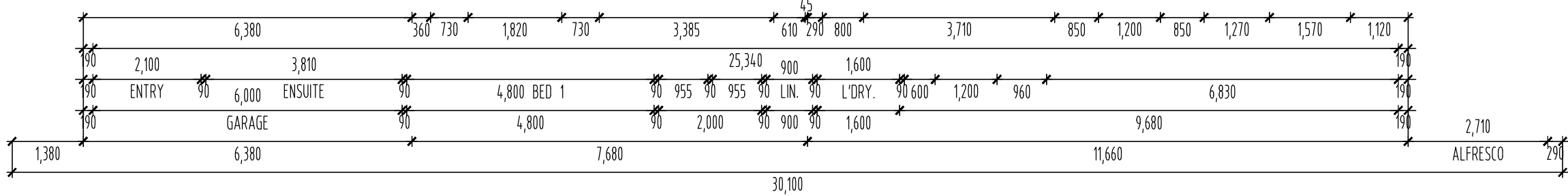
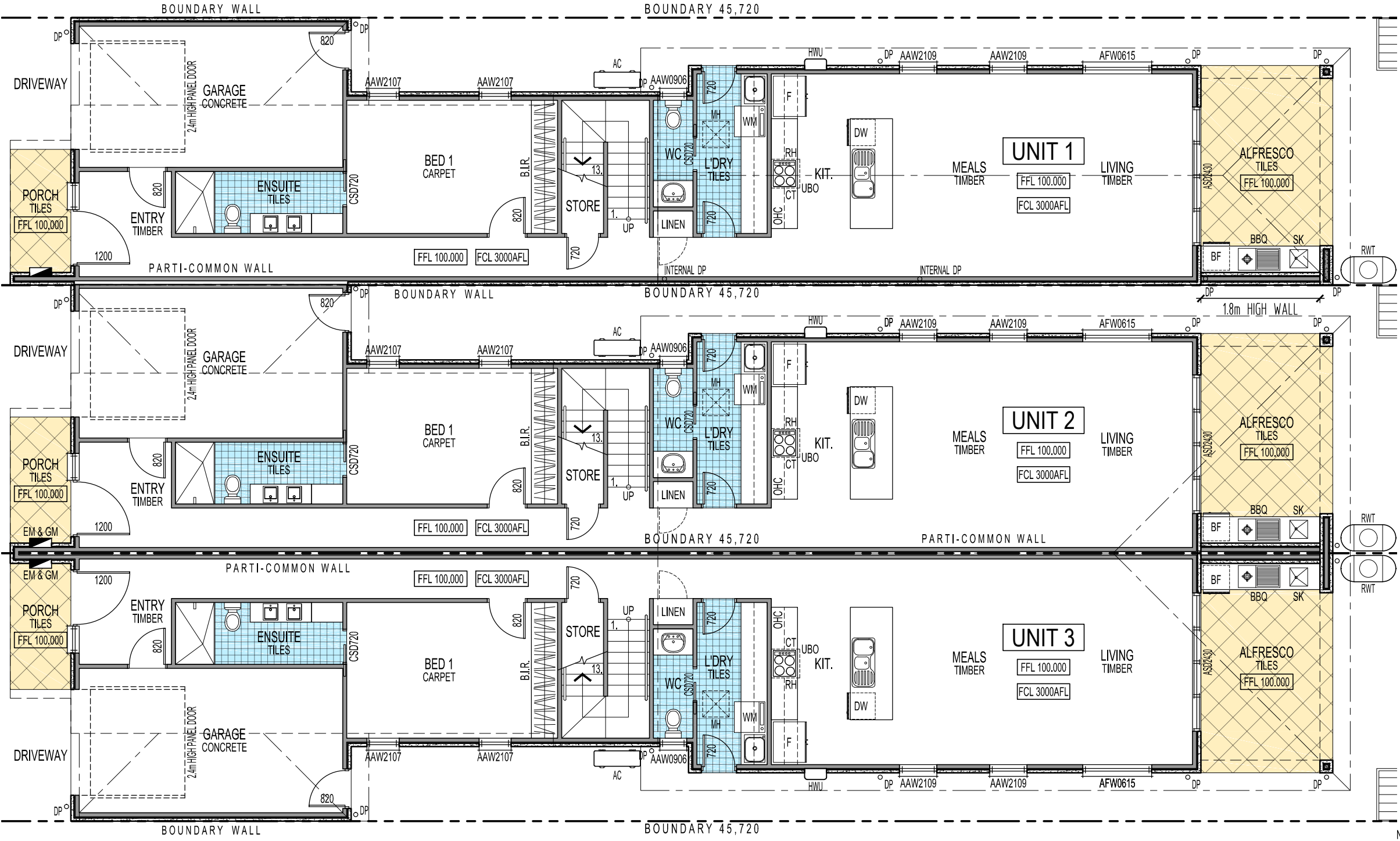
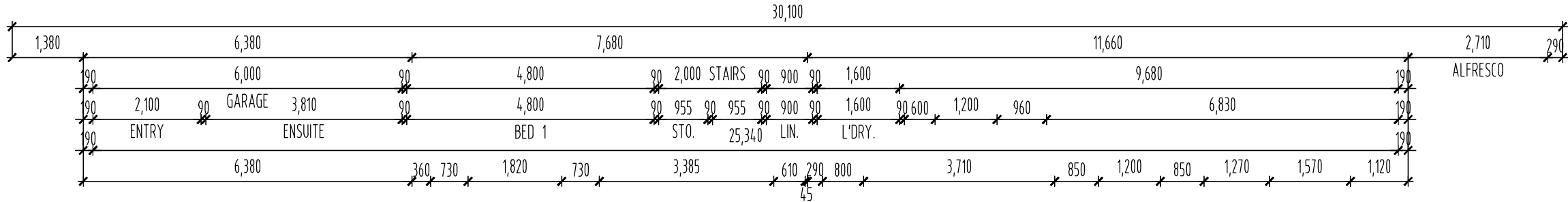
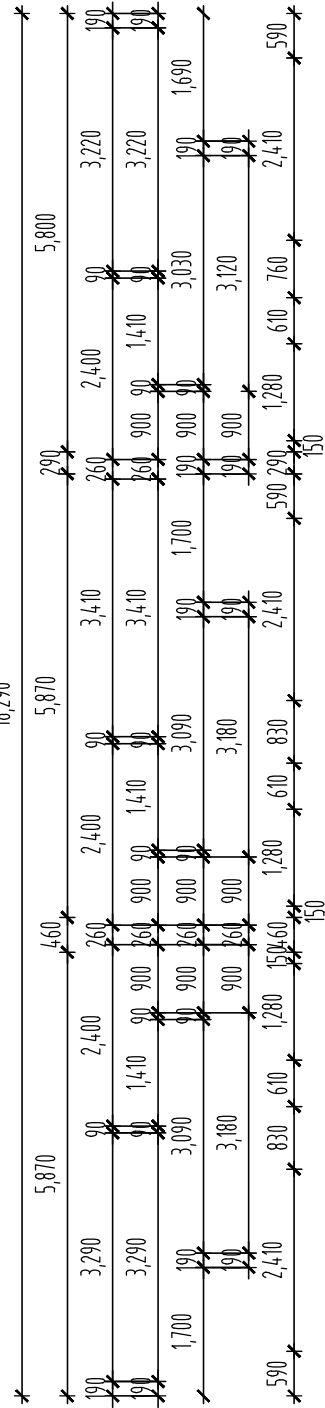
LEGEND

WC WATER CLOSET (TOILET)
F FRIDGE
DW DISHWASHER
UBO UNDER BENCH OVEN
OHC OVERHEAD CUPBOARDS
WM WASHING MACHINE
D DESK
TV TELEVISION
EM ELECTRICAL METER
GM GAS METER
HWU HOT WATER UNIT
AC AIR CONDITIONER UNIT
DP DOWN PIPE

TIMBER FRAME POWERPANEL CONSTRUCTION

ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE

REFER TO SECTION DETAIL FOR FIRE RATED PARTI-WALL DETAIL

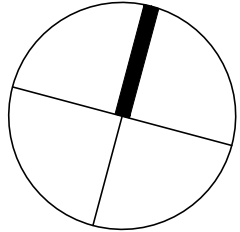


NOTE: PROVIDE MIN. 1000L RAINWATER TANK ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILET'S WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

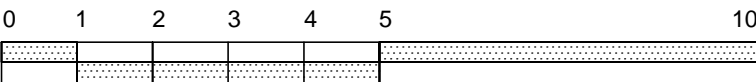
FENCE NOTE: ALL FENCES TO BE CONSTRUCTED OF 1.8m HIGH COLORBOND GOOD NEIGHBOURHOOD FENCING.

GROUND FLOOR PLAN

SCALE 1:100



ORIGINAL DRAWING - A3 SIZE SHEET
SCALE 1:100



METRES

UNIT 1 AREAS		SQM
GROUND FLOOR	:	109.5
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.4
ALFRESCO	:	15.0
TOTAL BUILDING		210.2
SITE		278.4
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

UNIT 2 AREAS		SQM
GROUND FLOOR	:	109.1
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.9
ALFRESCO	:	15.0
TOTAL BUILDING		210.3
SITE		278.9
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
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UNIT 3 AREAS		SQM
GROUND FLOOR	:	109.1
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.9
ALFRESCO	:	15.0
TOTAL BUILDING		210.3
SITE		278.9
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

B	29.11.17	COMMON PARTI-WALL	DF
A	17.11.17	FOR PLANNING APPROVAL	DF
REV	DATE	COMMENT	DWN

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E-MAIL ARCHITECT@FERRONE.COM.AU
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FOR APPROVAL

CLIENT: U. & F. FARINA FAMILY TRUST
ADDRESS: 71 EAST AVENUE ALLENBY GARDENS SA 5009
PROJECT: PROPOSED 3x TWO STOREY DWELLINGS
SHEET TITLE: GROUND FLOOR PLAN

JOB REF: 17-FAR	DATE: SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE: 1:100	PAPER: A2
DRAWING NO: WD.200	REVISION: B

GENERAL NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL PLAN AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

WRITTEN DIMENSION TO BE TAKEN IN PREFERENCE TO SCALE

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

STAIRS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE BCA AT MAXIMUM 18 RISERS TO EACH FLIGHT. STAIRS TO HAVE A NON-SLIP FINISH OR SUITABLE NON-SKID STRIP

BALUSTRADE TO COMPLY WITH BCA PART 3.9.2 WITH HEIGHT NO LESS THAN 900mm ABOVE STAIR TREAD NOSING AND NO LESS THAN 1050mm ABOVE FINISHED FLOOR OR BALCONY

PROVIDE WATERPROOF SARKING TO UNDERSIDE OF ROOF TILES

ALL OPEN-ABLE UPPER LEVEL WINDOWS LESS THAN 1.7m FROM UPPER FFL MUST BE RESTRICT TO NOT ALLOW OPENING GREATER THAN 125mm

PROVIDE FIXED OBSCURE GLAZING TO WINDOWS 1.5m/1.7m ABOVE UPPER LEVEL (SHOWN DOTTED)

PROVIDE OBSCURE GLAZING TO WET AREA WINDOWS - BATHROOM, ENSUITE, WC, ETC. (WHERE SHOWN DOTTED)

SMOKE ALARM SYSTEM TO COMPLY WITH AS3786 ALL TO BE INTERCONNECTED AND POWERED FROM THE CONSUMER MAINS SOURCE WITH 9V BATTERY BACKUP

SMOKE DETECTION SYSTEM TO COMPLY WITH AS1670 AND THE BCA REQUIREMENTS

ALL EXHAUST FANS TO BE VENTED TO OUTSIDE

LATCH DEVICE AND OPERATION OF ALL REQUIRED EXIT DOORS, OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT, TO BE SELECTED & INSTALLED IN ACCORDANCE WITH BCA-D2.21

WC TOILET TO ALLOW FOR OUTWARD OPENING OF DOOR OR PROVIDE REMOVABLE HINGES TO WC TOILET DOOR

ALL WATERPROOFING TO WET AREAS BE IN ACCORDANCE WITH AS3740-2004

EARLY FIRE HAZARD INDICES OF WALL, FLOOR, CEILING LININGS AND AIR-CONDITIONING DUCTWORK TO COMPLY WITH CLAUSE C.1.10 OF THE BCA

REFER TO ENGINEERS DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE)

IF BUILDING IS WITHIN A CORROSION ZONE, ALL NAILS USED FOR STRUCTURAL WORK SHALL BE GALVANISED AS PER AS1214, AS1387 AND AS1650

PROVIDE MINIMUM 1000L RAINWATER TANK OR AS PER ENGINEER'S SPECIFICATION (WITH OVERTFLOW & INSECT PROOF AND NON DEGRADABLE SCREENS) ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILET'S WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

TERMITE CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH BCA PART 3.1.3 AND WITH AS3660.1. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660.1 METHOD OF APPLICATION TO BE KORDON PIPE PENETRATION WITH CHEMICAL PERIMETER TREATMENT, INCLUDING CERTIFICATE OF COMPLETION

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SITWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL

BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ROOFING NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHING, CAPPING AND OTHER ITEMS REQUIRED TO COMPLY WITH BCA & RELEVANT BUILDING CODES

REFER TO ENGINEER'S DRAWINGS FOR AIR-CONDITIONING AND EXHAUST UNIT LOCATIONS AND DETAILS

BUILDER TO ALLOW FOR ALL NECESSARY METAL UPSTAND FLASHING TO ALL NEW ROOF PENETRATIONS ASSOCIATED WITH NEW AIR-CONDITIONING, PIPING, EXHAUST EQUIPMENT, ETC.

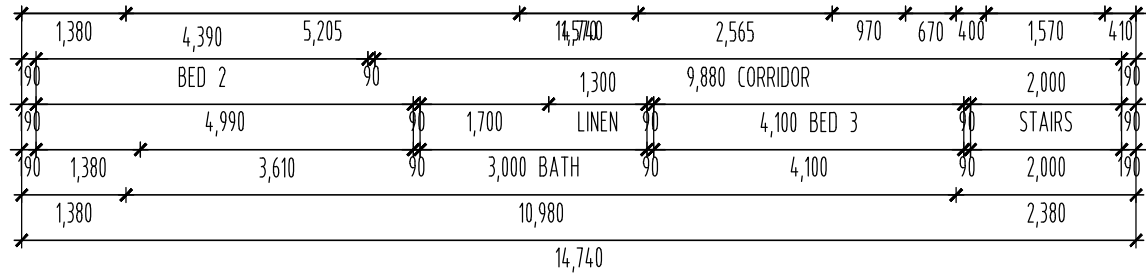
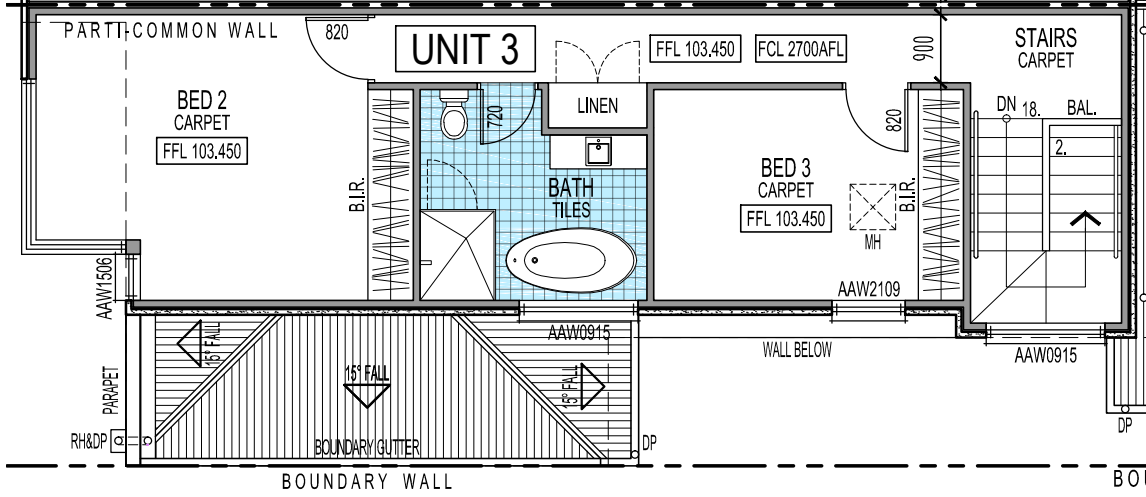
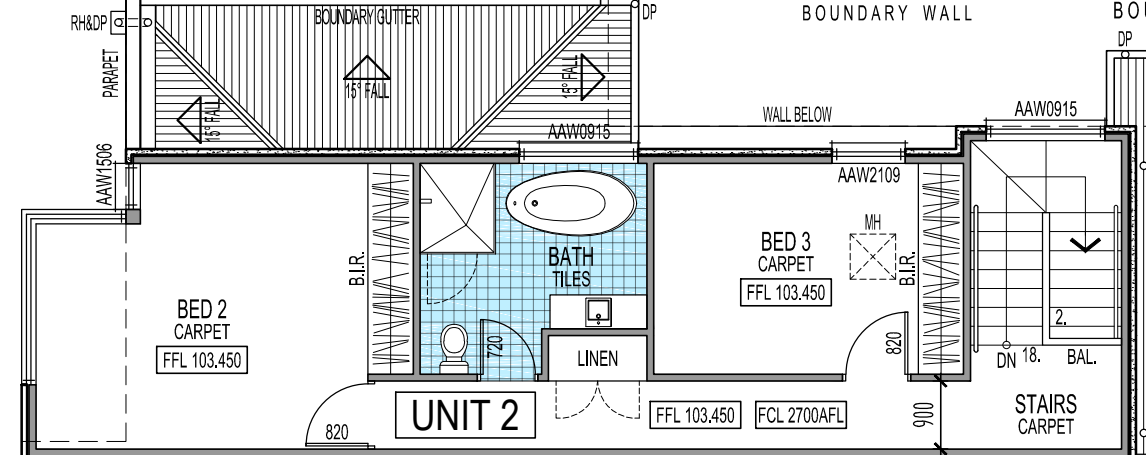
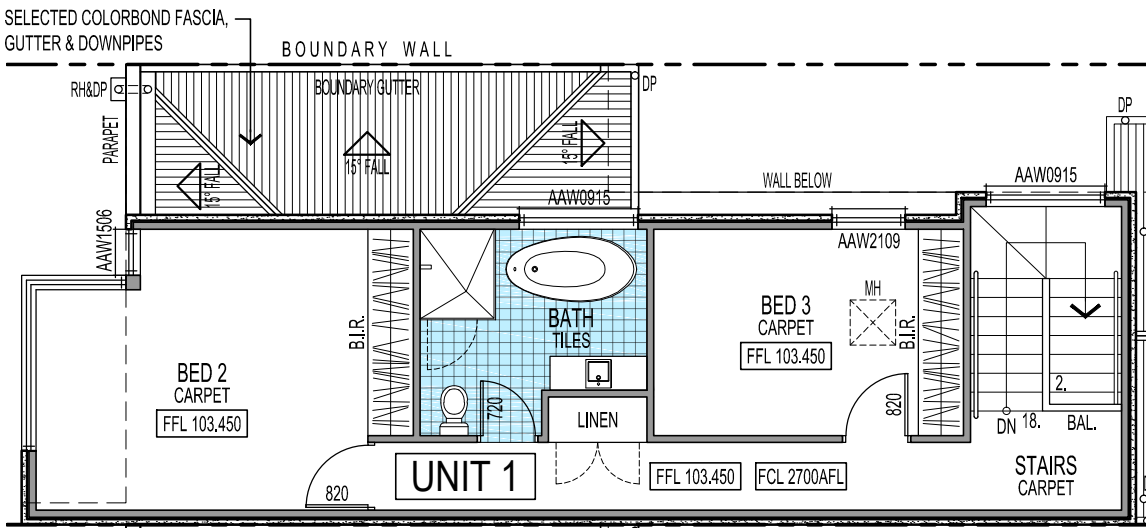
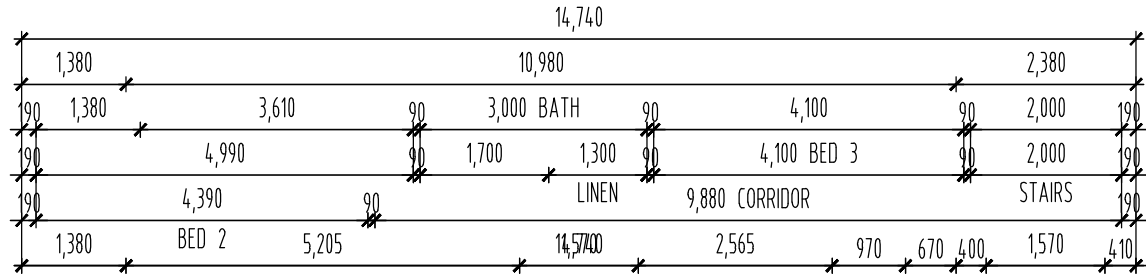
LEGEND

WC WATER CLOSET (TOILET)
F FRIDGE
DW DISHWASHER
UBO UNDER BENCH OVEN
OHC OVERHEAD CUPBOARDS
WM WASHING MACHINE
D DESK
TV TELEVISION
EM ELECTRICAL METER
GM GAS METER
HWU HOT WATER UNIT
AC AIR CONDITIONER UNIT
DP DOWN PIPE

TIMBER FRAME POWERPANEL CONSTRUCTION

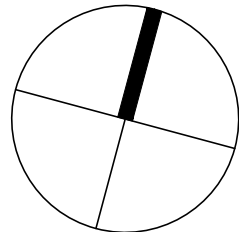
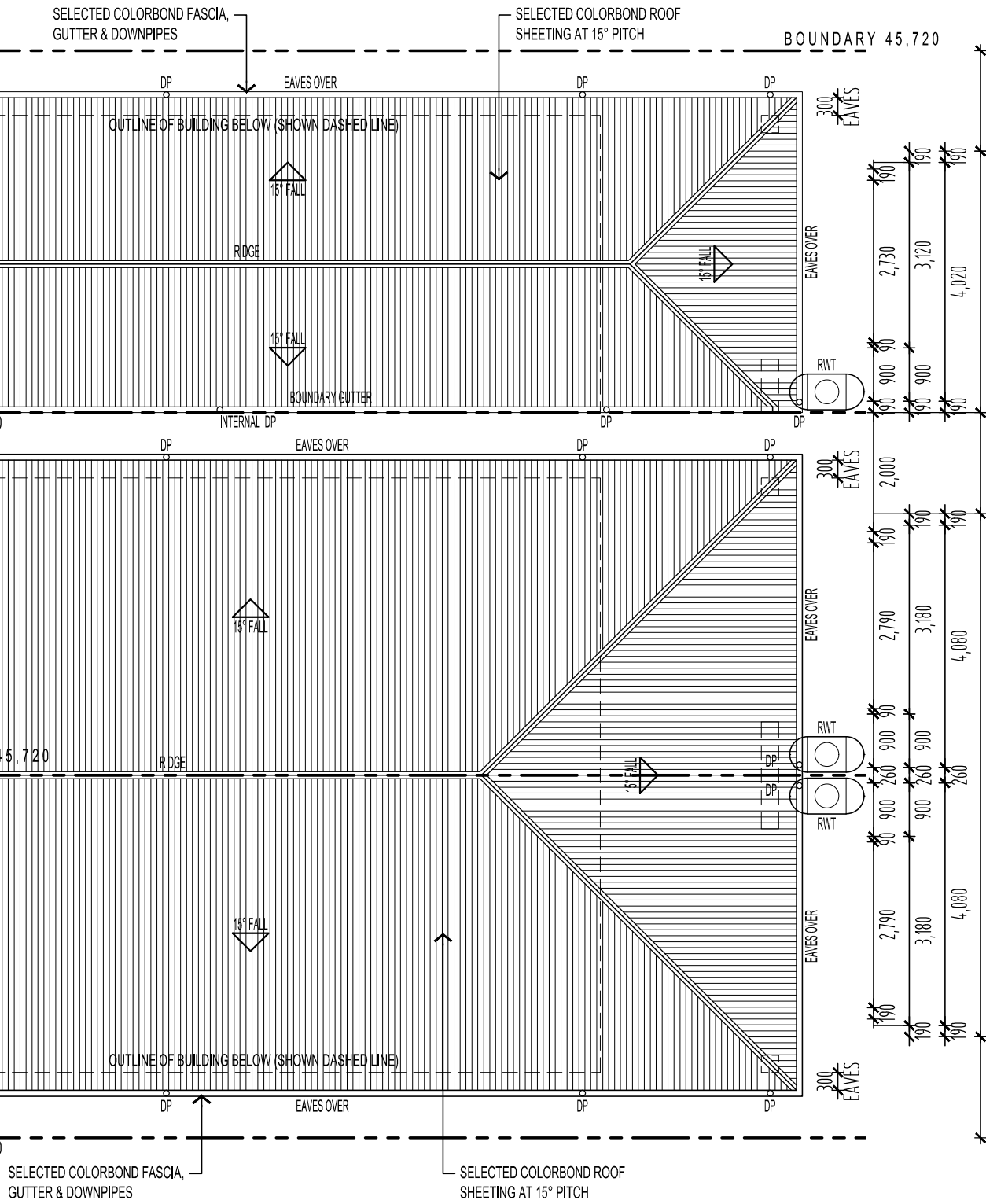
ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE

REFER TO SECTION DETAIL FOR FIRE RATED PARTI-WALL DETAIL

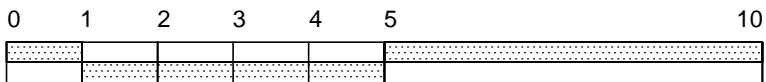


SECOND FLOOR PLAN

SCALE 1:100



ORIGINAL DRAWING - A3 SIZE SHEET
SCALE 1:100



METRES

10

UNIT 1 AREAS		SQM
GROUND FLOOR	:	109.5
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.4
ALFRESCO	:	15.0
TOTAL BUILDING		210.2
SITE	:	278.4
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

UNIT 2 AREAS		SQM
GROUND FLOOR	:	109.1
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.9
ALFRESCO	:	15.0
TOTAL BUILDING		210.3
SITE	:	278.9
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UNIT 3 AREAS		SQM
GROUND FLOOR	:	109.1
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B	29.11.17	COMMON PARTI-WALL	DF
A	17.11.17	FOR PLANNING APPROVAL	DF
REV	DATE	COMMENT	DWN

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FOR APPROVAL

CLIENT:
U. & F. FARINA FAMILY TRUST
ADDRESS:
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT:
PROPOSED 3x TWO STOREY
DWELLINGS
SHEET TITLE:
UPPER FLOOR PLAN

JOB REF: 17-FAR	DATE: SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE: 1:100	PAPER: A2
DRAWING NO: WD.201	REVISION: B

GENERAL NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

BUILDER TO CHECK AND CONFIRM ALL PLAN AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

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GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

STAIRS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE BCA AT MAXIMUM 18 RISERS TO EACH FLIGHT. STAIRS TO HAVE A NON-SLIP FINISH OR SUITABLE NON-SKID STRIP

BALUSTRADE TO COMPLY WITH BCA PART 3.9.2 WITH HEIGHT NO LESS THAN 900mm ABOVE STAIR TREAD NOSING AND NO LESS THAN 1050mm ABOVE FINISHED FLOOR OR BALCONY

PROVIDE WATERPROOF SARKING TO UNDERSIDE OF ROOF TILES

ALL OPEN-ABLE UPPER LEVEL WINDOWS LESS THAN 1.7m FROM UPPER FFL MUST BE RESTRICT TO NOT ALLOW OPENING GREATER THAN 125mm

PROVIDE FIXED OBSCURE GLAZING TO WINDOWS 1.5m/1.7m ABOVE UPPER LEVEL (SHOWN DOTTED)

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SMOKE DETECTION SYSTEM TO COMPLY WITH AS1670 AND THE BCA REQUIREMENTS

ALL EXHAUST FANS TO BE VENTED TO OUTSIDE

LATCH DEVICE AND OPERATION OF ALL REQUIRED EXIT DOORS, OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT, TO BE SELECTED & INSTALLED IN ACCORDANCE WITH BCA-D2.21

WC TOILET TO ALLOW FOR OUTWARD OPENING OF DOOR OR PROVIDE REMOVABLE HINGES TO WC TOILET DOOR

ALL WATERPROOFING TO WET AREAS BE IN ACCORDANCE WITH AS3740-2004

EARLY FIRE HAZARD INDICES OF WALL, FLOOR, CEILING LININGS AND AIR-CONDITIONING DUCTWORK TO COMPLY WITH CLAUSE C1.10 OF THE BCA

REFER TO ENGINEERS DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE)

IF BUILDING IS WITHIN A CORROSION ZONE, ALL NAILS USED FOR STRUCTURAL WORK SHALL BE GALVANISED AS PER AS1214, AS1397 AND AS1650

PROVIDE MINIMUM 1000L RAINWATER TANK OR AS PER ENGINEER'S SPECIFICATION (WITH OVERFLOW & INSECT PROOF AND NON DEGRADABLE SCREENS) ON SLAB TO COLLECT ROOF CATCHMENT AREAS & PLUMBED TO TOILETS WITH 10amp WEATHERPROOF EXTERNAL GPO FOR PUMP

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ROOFING NOTES

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ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHING, CAPPING AND OTHER ITEMS REQUIRED TO COMPLY WITH BCA & RELEVANT BUILDING CODES

REFER TO ENGINEER'S DRAWINGS FOR AIR-CONDITIONING AND EXHAUST UNIT LOCATIONS AND DETAILS

BUILDER TO ALLOW FOR ALL NECESSARY METAL UPSTAND FLASHING TO ALL NEW ROOF PENETRATIONS ASSOCIATED WITH NEW AIR-CONDITIONING, PIPING, EXHAUST EQUIPMENT, ETC.

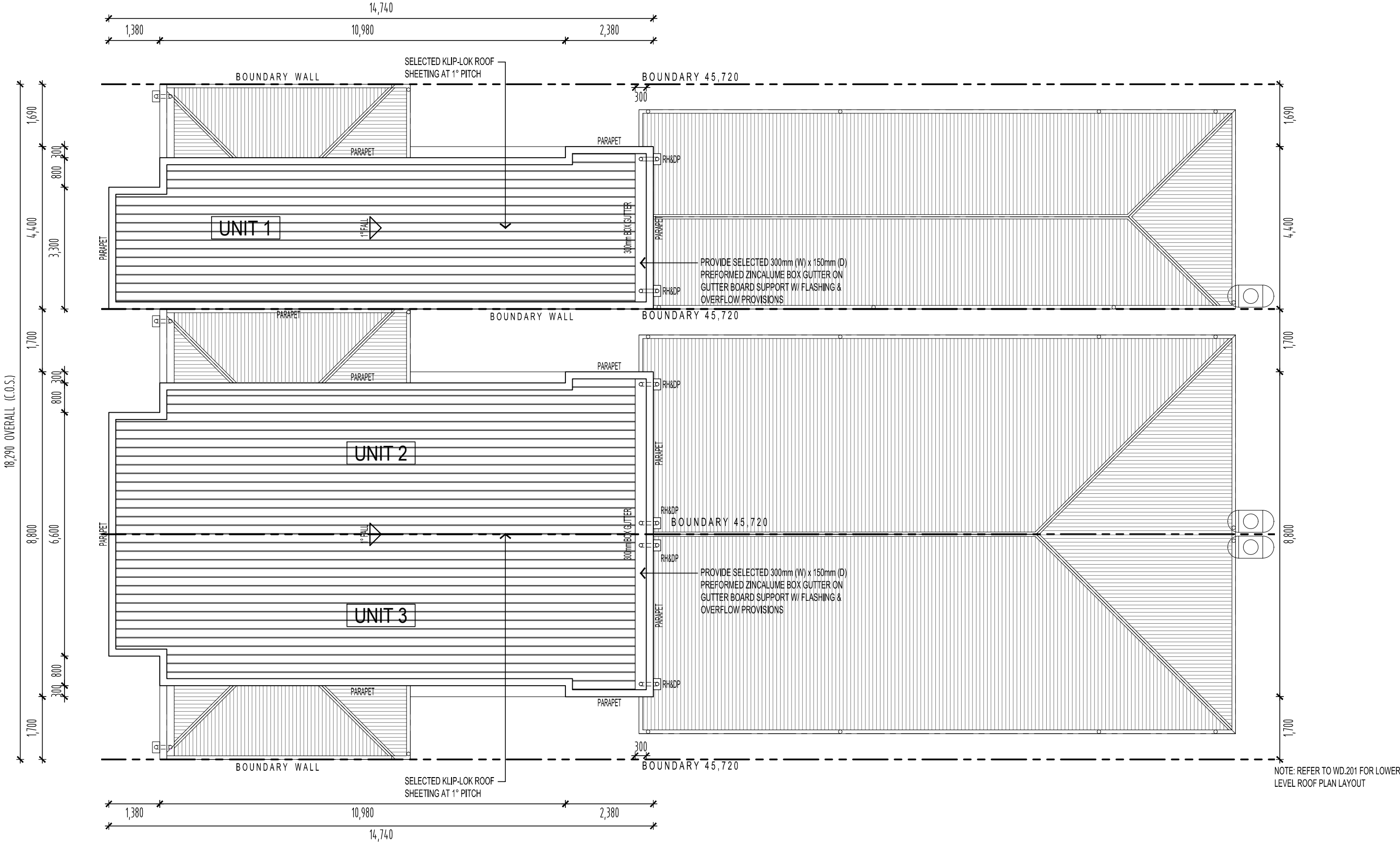
LEGEND

WC WATER CLOSET (TOILET)
F FRIDGE
DW DISHWASHER
UBO UNDER BENCH OVEN
OHC OVERHEAD CUPBOARDS
WM WASHING MACHINE
D DESK
TV TELEVISION
EM ELECTRICAL METER
GM GAS METER
HWU HOT WATER UNIT
AC AIR CONDITIONER UNIT
DP DOWN PIPE

TIMBER FRAME POWERPANEL CONSTRUCTION

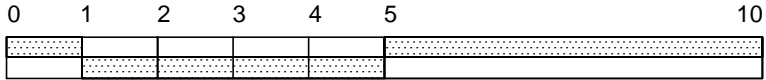
ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE

REFER TO SECTION DETAIL FOR FIRE RATED PARTI-WALL DETAIL

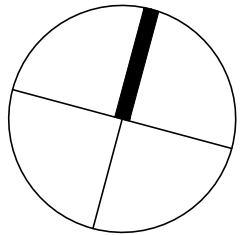


ROOF PLAN
SCALE 1:100

ORIGINAL DRAWING - A3 SIZE SHEET
SCALE 1:100



METRES



UNIT 1 AREAS		SQM
GROUND FLOOR	:	109.5
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.4
ALFRESCO	:	15.0
TOTAL BUILDING		210.2
SITE	:	278.4
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

UNIT 2 AREAS		SQM
GROUND FLOOR	:	109.1
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.9
ALFRESCO	:	15.0
TOTAL BUILDING		210.3
SITE	:	278.9
SITE COVERAGE	:	53.9%
P.O.S (INC. ALFRESCO)	:	42.7
P.O.S COVERAGE	:	15.3%

UNIT 3 AREAS		SQM
GROUND FLOOR	:	109.1
UPPER FLOOR	:	60.0
PORCH	:	4.3
GARAGE	:	21.9
ALFRESCO	:	15.0
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P.O.S COVERAGE	:	15.3%

A	17.11.17	FOR PLANNING APPROVAL	DF
REV	DATE	COMMENT	DWN

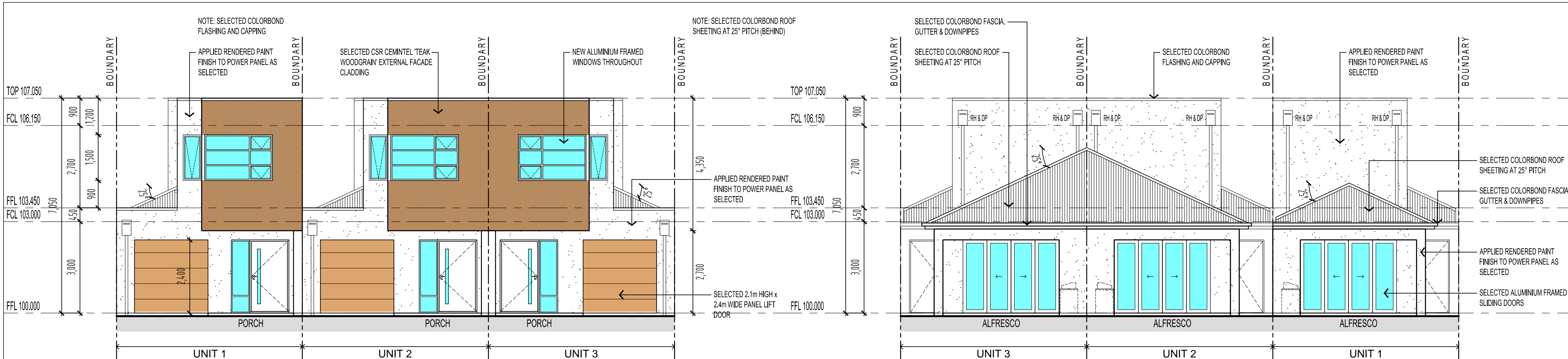
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E-MAIL ARCHITECT@FERRONE.COM.AU	PHONE 0409 374 786
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BUSINESS ADDRESS LEVEL 2, 93 RUNDLE MALL, ADELAIDE, SA, 5000	
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FOR APPROVAL

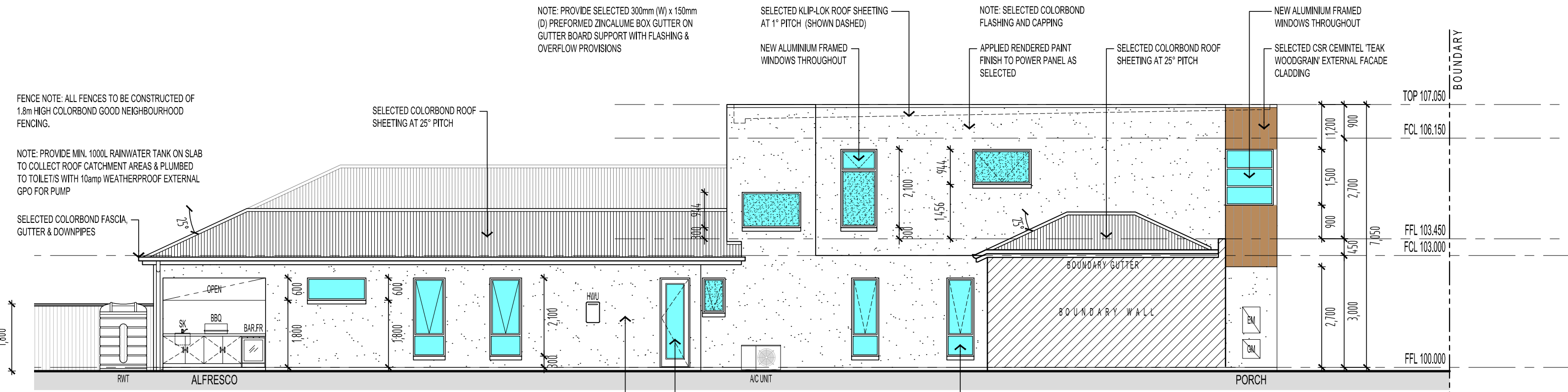
CLIENT:
U. & F. FARINA FAMILY TRUST
ADDRESS:
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT:
PROPOSED 3x TWO STOREY DWELLINGS
SHEET TITLE:
ROOF PLAN

JOB REF: 17-FAR	DATE: SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE: 1:100	PAPER: A2
DRAWING NO: WD.300	REVISION: A

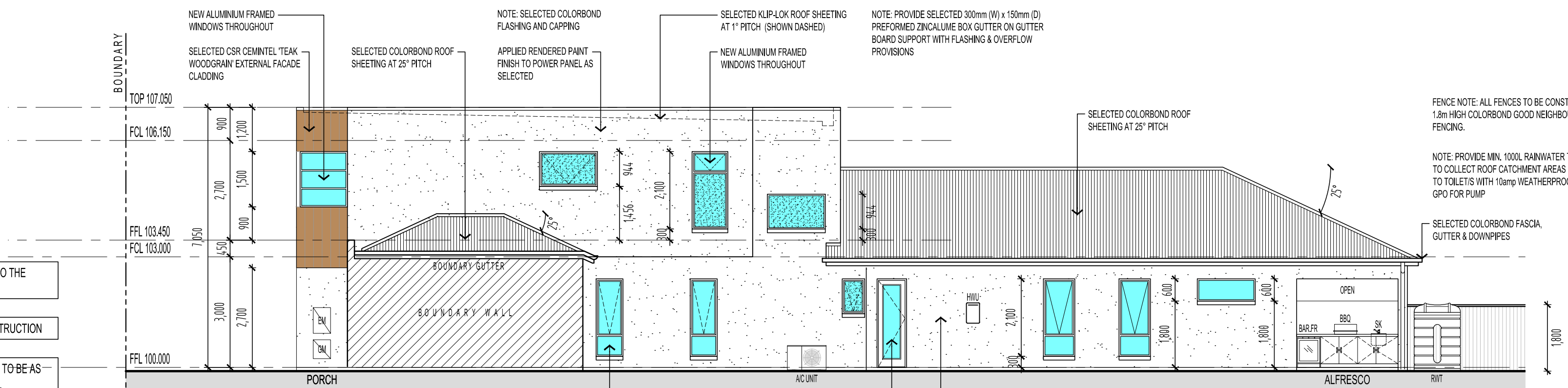


WEST ELEVATION
SCALE 1:100

EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

WINDOW NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

ALL GLAZING TO COMPLY WITH AS1288 AND BCA (PART 3.6) INCLUDING ANY SAFETY GLASS INSTALLATION

ALL WINDOW SIZES TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO ANY ORDERS AND/OR INSTALLATION

ALL OPEN SASHES TO BE FITTED WITH FLY SCREEN

PROVIDE OBSCURE GLAZING TO WET AREA WINDOWS INC. BATHROOM, ENSUITE, WC, ETC. (SHOWN DOTTED)

LEGEND

EM ELECTRICAL METER
GM GAS METER
HWU HOT WATER UNIT
AC AIR CONDITIONER UNIT
RWT RAIN WATER TANK
DP DOWN PIPE

GLAZING NOTE:

PROVIDE FOLLOWING GLAZING TO ALL WINDOWS AND SLIDING DOORS:
GROUND FLOOR
U-VALUE = 6.7
SHGC = 0.70
SECOND FLOOR
U-VALUE = 6.7
SHGC = 0.70

INSULATION NOTE:

PROVIDE THE FOLLOWING INSULATION TO:
R2.5 EXTERNAL WALLS
R2.0 INTERNAL WALLS
R4.5 CEILING

A	17.11.17	FOR PLANNING APPROVAL	DF
REV	DATE	COMMENT	DWN

FERRONE

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WWW.FERRONE.COM.AU
E-MAIL
ARCHITECT@FERRONE.COM.AU
POSTAL ADDRESS
P.O. BOX 3454, RUNDLE MALL, ADELAIDE, SA, 5000
BUSINESS ADDRESS
LEVEL 2, 93 RUNDLE MALL, ADELAIDE, SA, 5000

ABN
40 613 271 131
PHONE
0409 374 786

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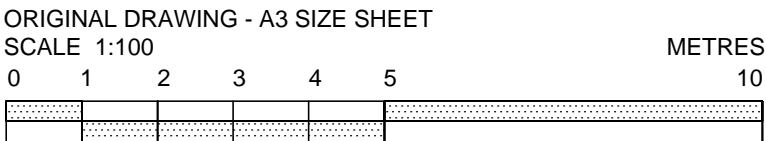
FOR APPROVAL

CLIENT
U. & F. FARINA FAMILY TRUST
ADDRESS
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT
PROPOSED 3x TWO STOREY DWELLINGS
SHEET TITLE:
ELEVATIONS

JOB REF:
17-FAR
DRAWN:
MD
SCALE
1:100
DRAWING NO.
WD.400

DATE
SEPTEMBER 2018
CHECKED:
DF
PAPER:
A2
REVISION:
A

- ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE
- TIMBER FRAME POWERPANEL CONSTRUCTION
- SITWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL
- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION



SECTION NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

WRITTEN DIMENSION TO BE TAKEN IN PREFERENCE TO SCALE

GROUND LEVELS AND FINISHED FLOOR LEVELS INDICATED ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHING, CAPPING AND OTHER ITEMS REQUIRED TO COMPLY WITH BCA & RELEVANT BUILDING CODES

PROVIDE R3.0 INSULATION BATTS TO CEILING AND R1.5 INSULATION BATTS TO WALLS

ALL WATERPROOFING TO WET AREAS BE IN ACCORDANCE WITH AS3740-2004 & MINISTER'S SPECIFICATION SA F1.7 JULY 2004

TERMITE CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH BCA PART 3.1.3 AND WITH AS3660.1. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3600.1 METHOD OF APPLICATION TO BE KORDON PIPE PENETRATION WITH CHEMICAL PERIMETER TREATMENT, INCLUDING CERTIFICATE OF COMPLETION

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WC TOILET TO ALLOW FOR OUTWARD OPENING OF DOOR OR PROVIDE REMOVABLE HINGES TO WC TOILET DOOR

PARTI-WALL NOTES

SEPARATING PARTY WALL SYSTEM MUST ACHIEVE A WEIGHTED SOUND REDUCTION INDEX (RW) OF NOT LESS THAN 50DB

60/60/60 PARTI-WALL TO BE BORAL PARTI-WALL SYSTEM 25TP1313A WITH 1x 25mm SHAFTLINER MEMBRANE AND 1x LAYER OF 13mm SOUNDSTOP PLASTER BOARD WITH R2 GLASSWOOL BATTS (OR EQUIVALENT) ON BOTH SIDE

THIS SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BCA 2007 PUBLISHED INSTRUCTIONS AND AS1684.2 NATIONAL TIMBER FRAMING CODE, WHERE APPLICABLE

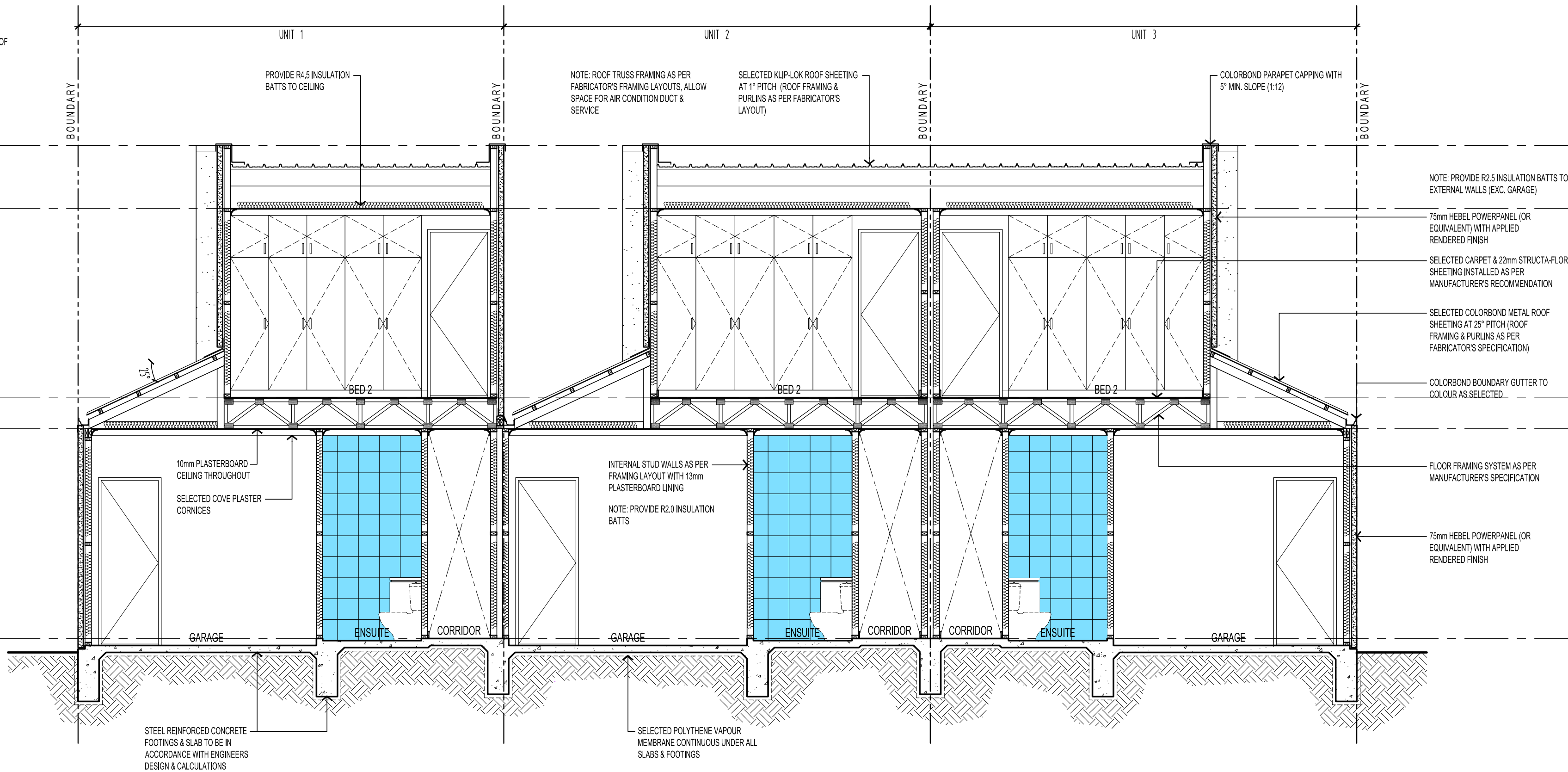
SERVICE PENETRATIONS THROUGH PARTY WALLS SHOULD BE AVOIDED WHEREVER POSSIBLE OTHERWISE ELECTRICAL POWER OUTLETS WHERE LOCATED SHOULD BE FIRE RATED AND ACOUSTICALLY RATED ACCORDINGLY

ENSURE MASONRY WALL TO BE STRAIGHT AND TRUE PRIOR TO ANY ADHESIVE METHOD OF SOUND/CHECK APPLICATION TO OCCUR

EARLY FIRE HAZARD INDICES OF WALL, FLOOR, CEILING LININGS AND AIR-CONDITIONING DUCTWORK TO COMPLY WITH CLAUSE C1.10 OF THE BCA

GLAZING NOTE:
PROVIDE FOLLOWING GLAZING TO ALL WINDOWS AND SLIDING DOORS:
GROUND FLOOR
U-VALUE = 6.7
SHGC = 0.70
SECOND FLOOR
U-VALUE = 6.7
SHGC = 0.70

INSULATION NOTE:
PROVIDE THE FOLLOW INSULATION TO:
R2.5 EXTERNAL WALLS
R2.0 INTERNAL WALLS
R4.5 CEILING



SECTION A - A

SCALE 1:50

ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE

TIMBER FRAME POWERPANEL CONSTRUCTION

SITWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL

BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

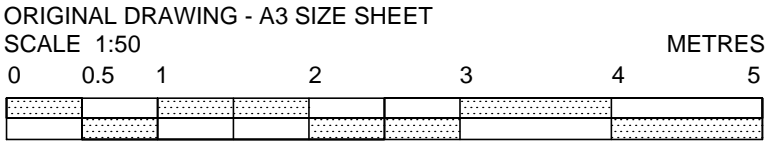
REV	DATE	COMMENT	DF	DWN
11.09.18		FOR PLANNING APPROVAL		

FERRONE	
WEB WWW.FERRONE.COM.AU	ABN 40 613 271 131
E-MAIL ARCHITECT@FERRONE.COM.AU	PHONE 0409 374 786
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FOR APPROVAL

CLIENT:
U. & F. FARINA FAMILY TRUST
ADDRESS:
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT:
PROPOSED 3x TWO STOREY DWELLINGS
SHEET TITLE:
SECTION A - A

JOB REF: 17-FAR DRAWN: MD SCALE 1:50 DRAWING NO. WD.500	DATE SEPTEMBER 2018 CHECKED: DF PAPER: A2 REVISION: A
--	--



SECTION NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

WRITTEN DIMENSION TO BE TAKEN IN PREFERENCE TO SCALE

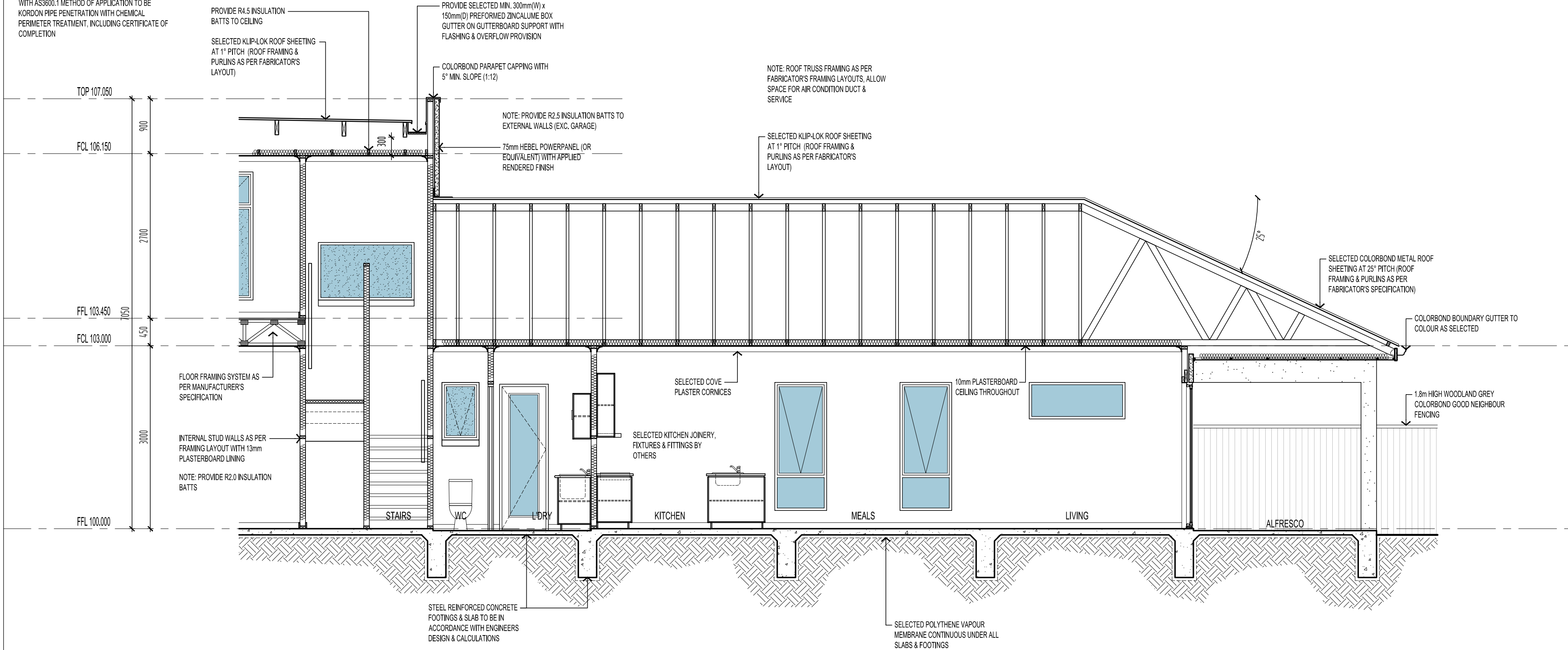
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SECTION B - B

SCALE 1:50

- ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE
- TIMBER FRAME POWERPANEL CONSTRUCTION
- SITWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL
- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

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SECOND FLOOR
U-VALUE = 6.7
SHGC = 0.70

INSULATION NOTE:
PROVIDE THE FOLLOW INSULATION TO:
R2.5 EXTERNAL WALLS
R2.0 INTERNAL WALLS
R4.5 CEILING

11.09.18	FOR PLANNING APPROVAL	DF
REV	DATE	COMMENT
		DWN

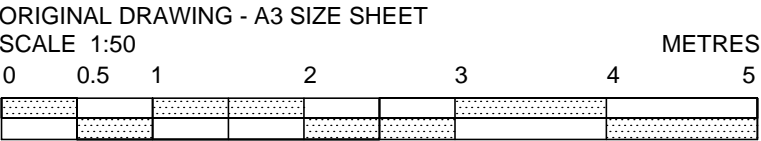
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FOR APPROVAL

CLIENT
U. & F. FARINA FAMILY TRUST
ADDRESS
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT
PROPOSED 3x TWO STOREY DWELLINGS
SHEET TITLE
SECTION B - B

JOB REF: 17-FAR	DATE SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE 1:50	PAPER: A2
DRAWING NO. WD.501	REVISION: A



SECTION NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

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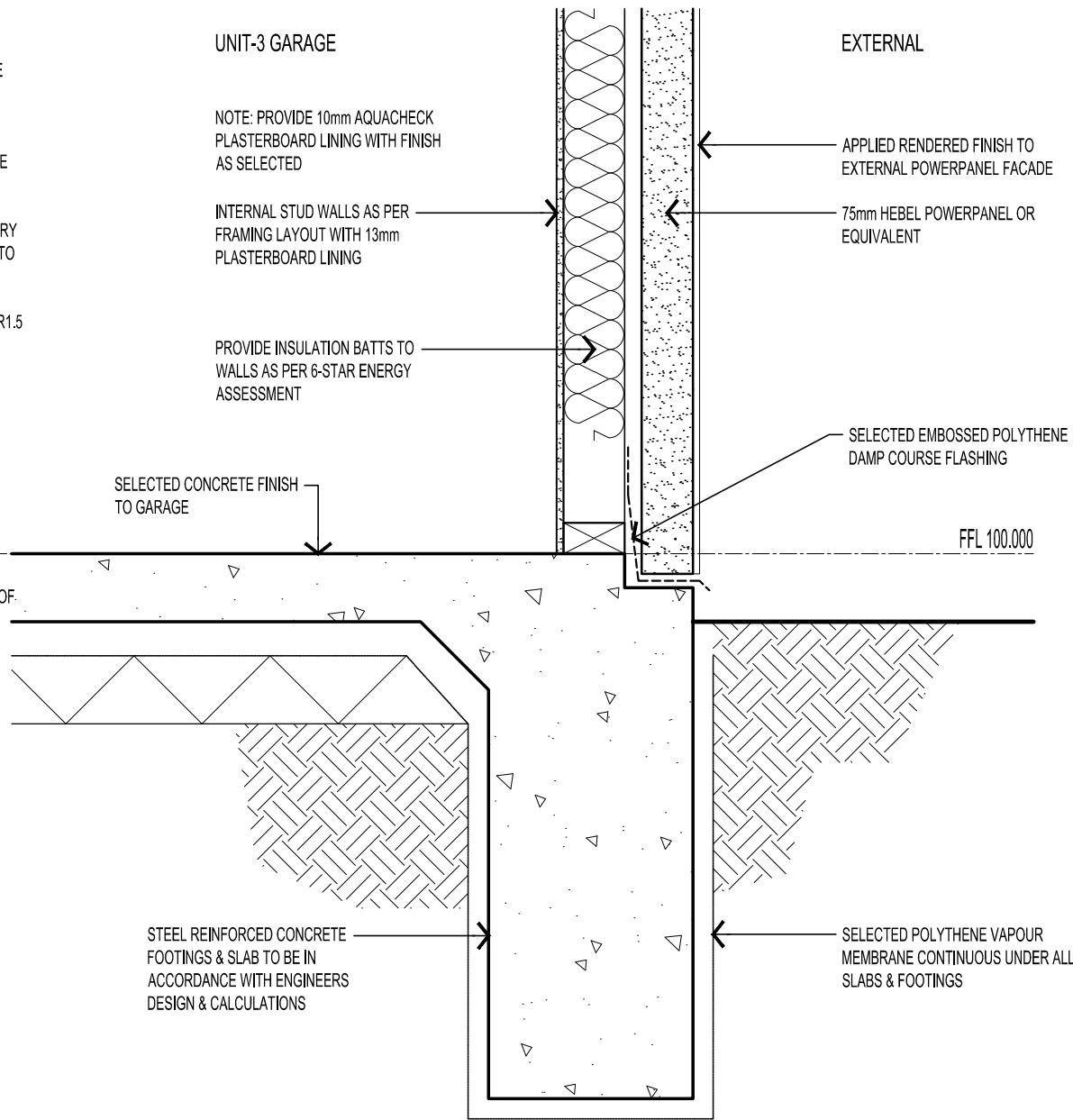
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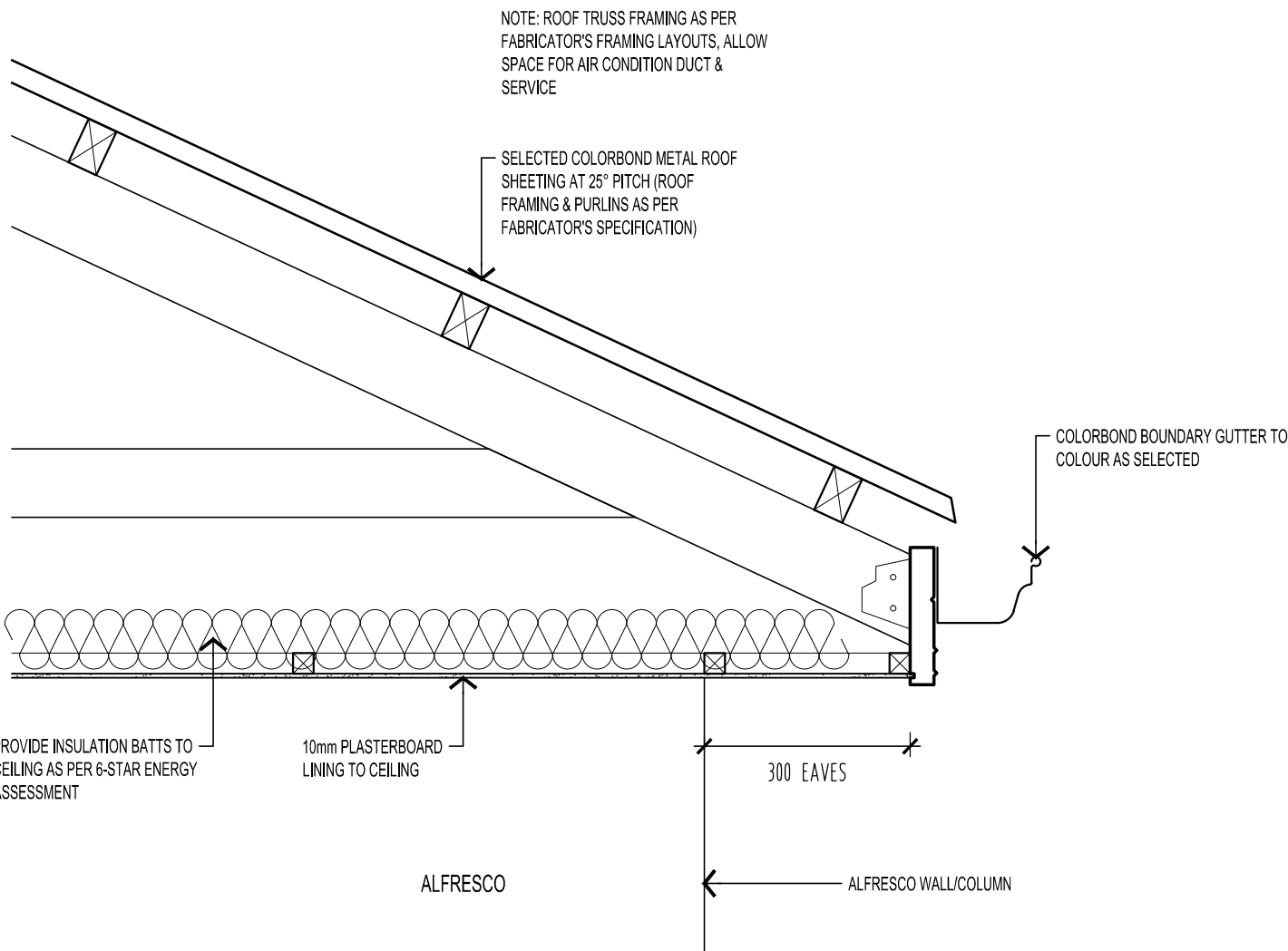
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TIMBER FRAME POWERPANEL CONSTRUCTION



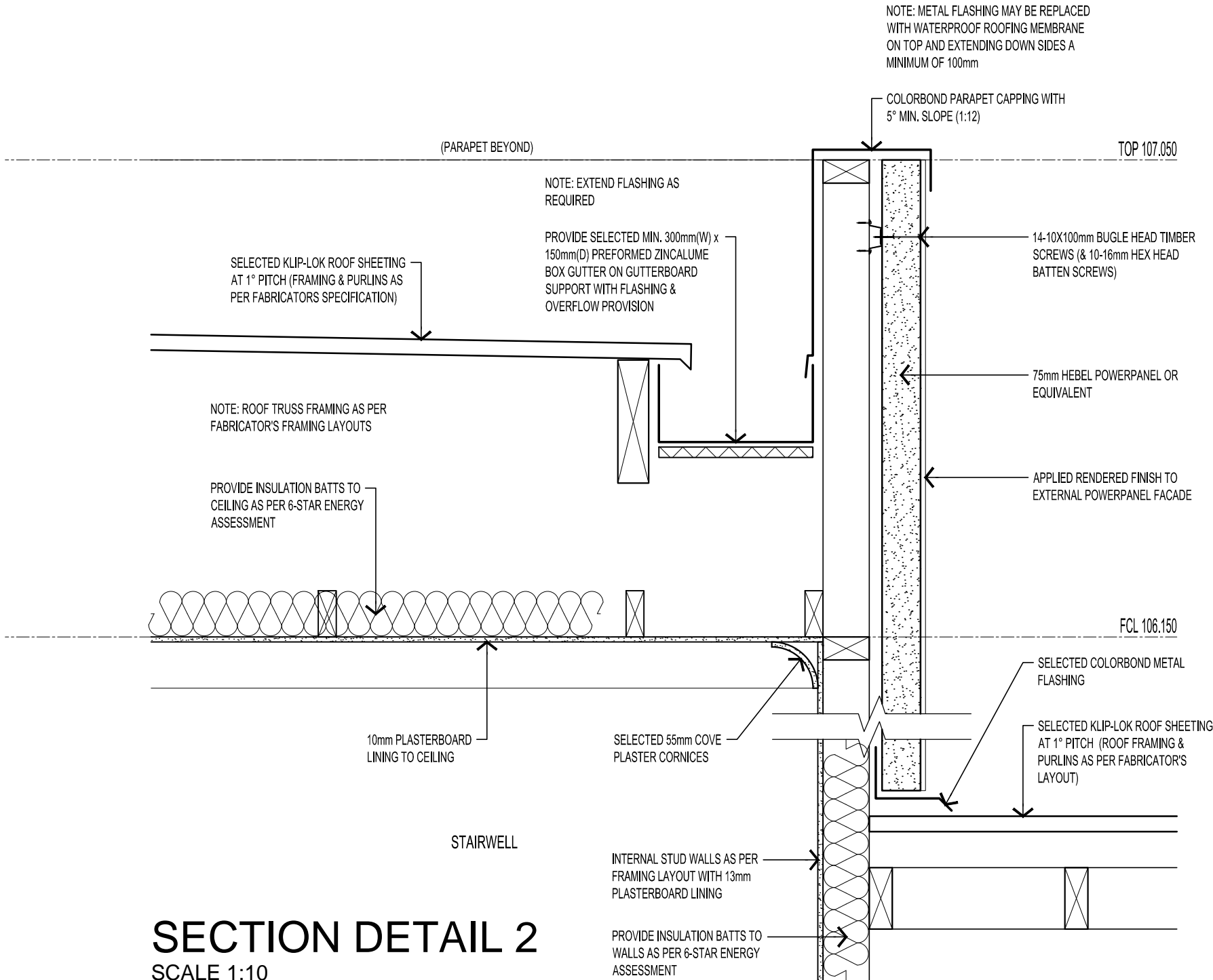
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SCALE 1:10



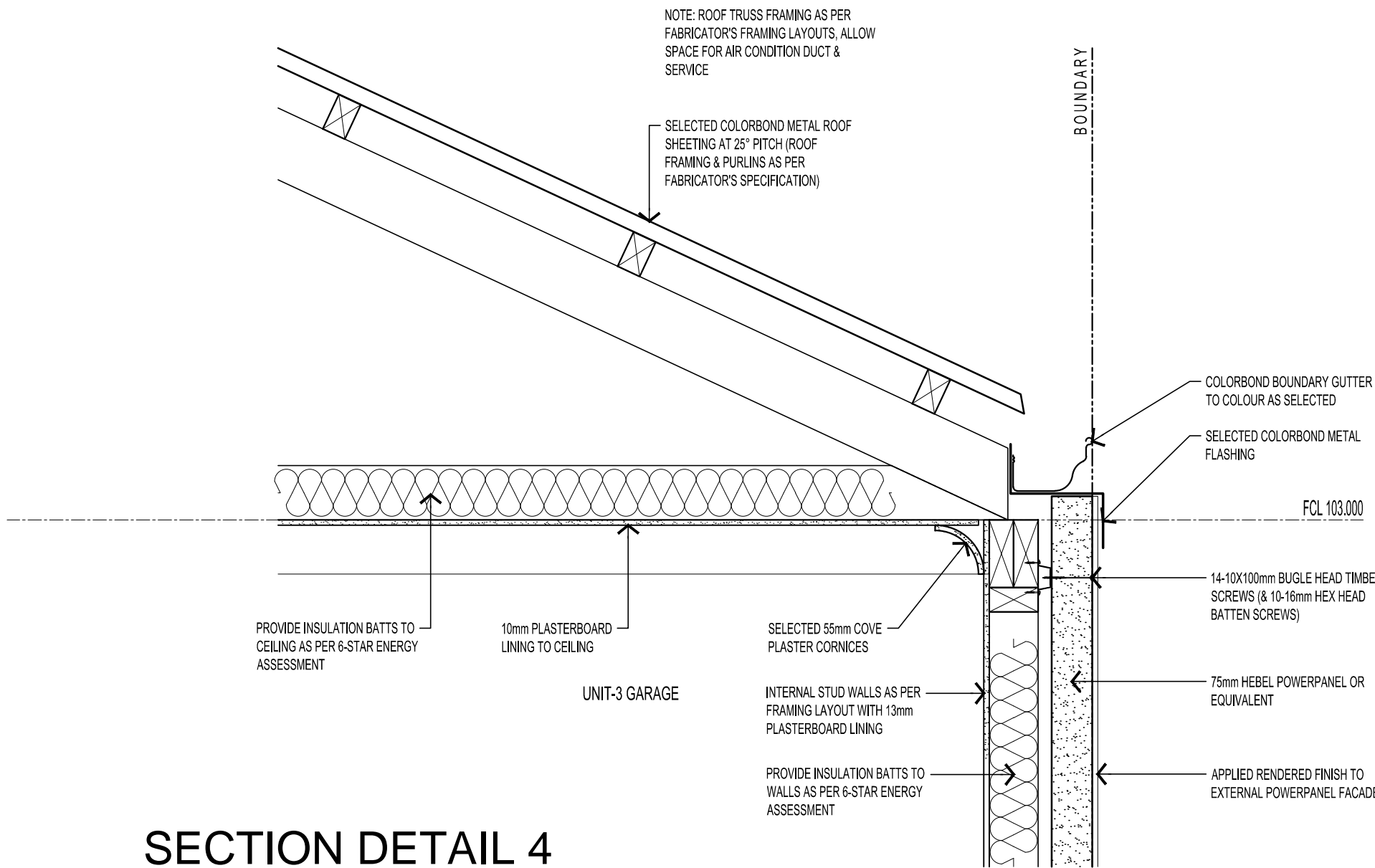
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SCALE 1:10



SECTION DETAIL 2

SCALE 1:10



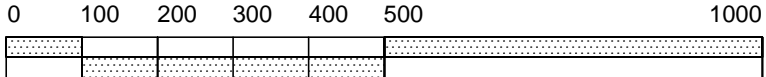
SECTION DETAIL 4

SCALE 1:10

ORIGINAL DRAWING - A3 SIZE SHEET

SCALE 1:10

MILLIMETERS



PARTI-WALL NOTES

SEPARATING PARTY WALL SYSTEM MUST ACHIEVE A WEIGHTED SOUND REDUCTION INDEX (RW) OF NOT LESS THAN 50dB

60/60/60 PARTI-WALL TO BE BORAL PARTI-WALL SYSTEM 25TP1313A WITH 1x 25mm SHAFTLINER MEMBRANE AND 1x LAYER OF 13mm SOUNDSTOP PLASTER BOARD WITH R2 GLASSWOOL BATTS (OR EQUIVALENT) ON BOTH SIDE

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WET AREA NOTES

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WC TOILET TO ALLOW FOR OUTWARD OPENING OF DOOR OR PROVIDE REMOVABLE HINGES TO WC TOILET DOOR

REV	DATE	FOR PLANNING APPROVAL	DF
	11.09.18		DWN

FERRONE

WEB WWW.FERRONE.COM.AU	ABN 40 613 271 131
E-MAIL ARCHITECT@FERRONE.COM.AU	PHONE 0409 374 786
POSTAL ADDRESS P.O.BOX 3454, RUNDLE MALL, ADELAIDE, SA, 5000	
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FOR APPROVAL

CLIENT U. & F. FARINA FAMILY TRUST	DATE SEPTEMBER 2018
ADDRESS 71 EAST AVENUE ALLENBY GARDENS SA 5009	CHECKED: DF
PROJECT PROPOSED 3x TWO STOREY DWELLINGS	PAPER: A2
SHEET TITLE: SECTION DETAILS	REVISION: A

JOB REF: 17-FAR	DATE SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE 1:10	PAPER: A2
DRAWING NO. WD.502	REVISION: A

WET AREA NOTES

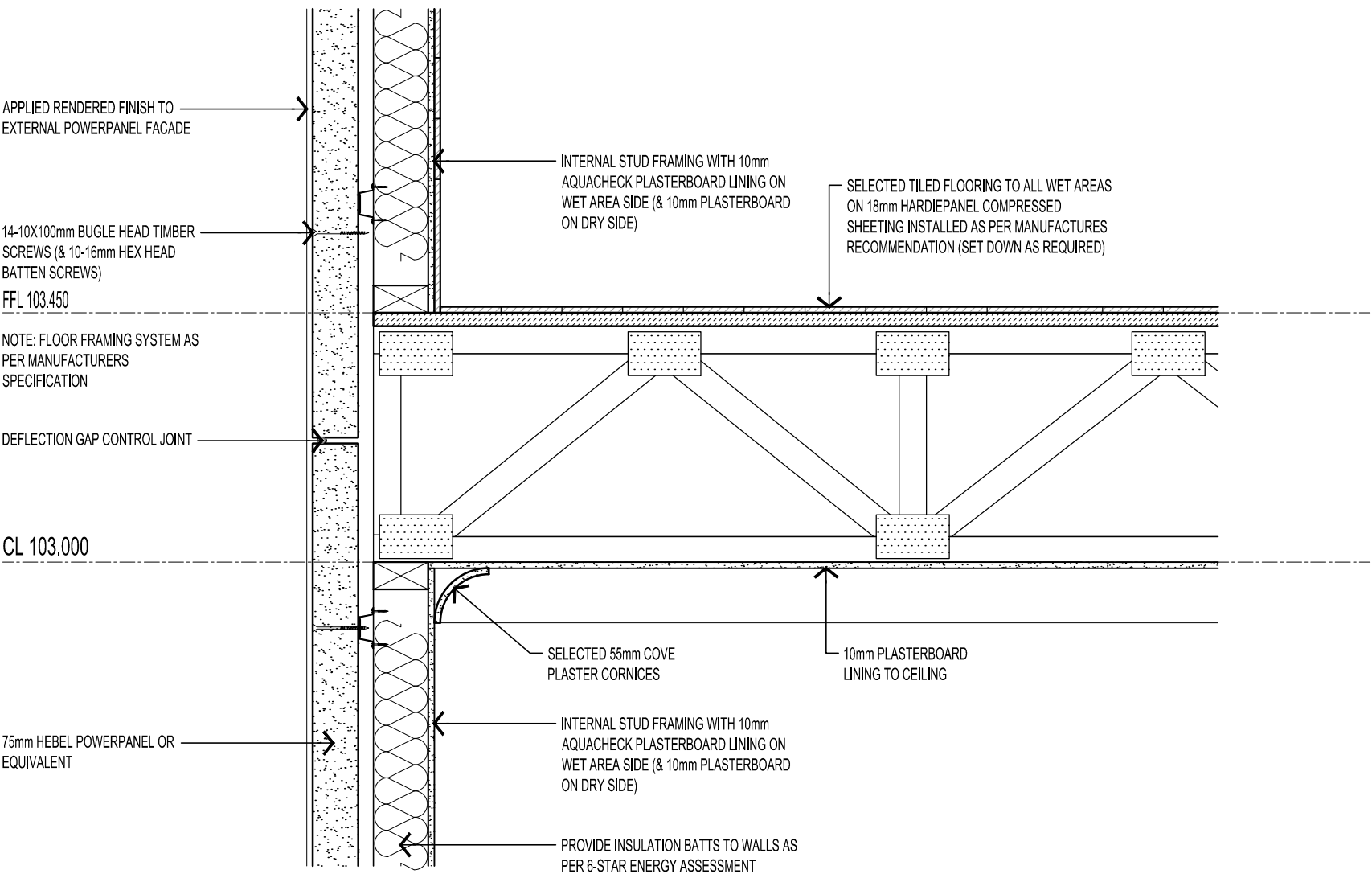
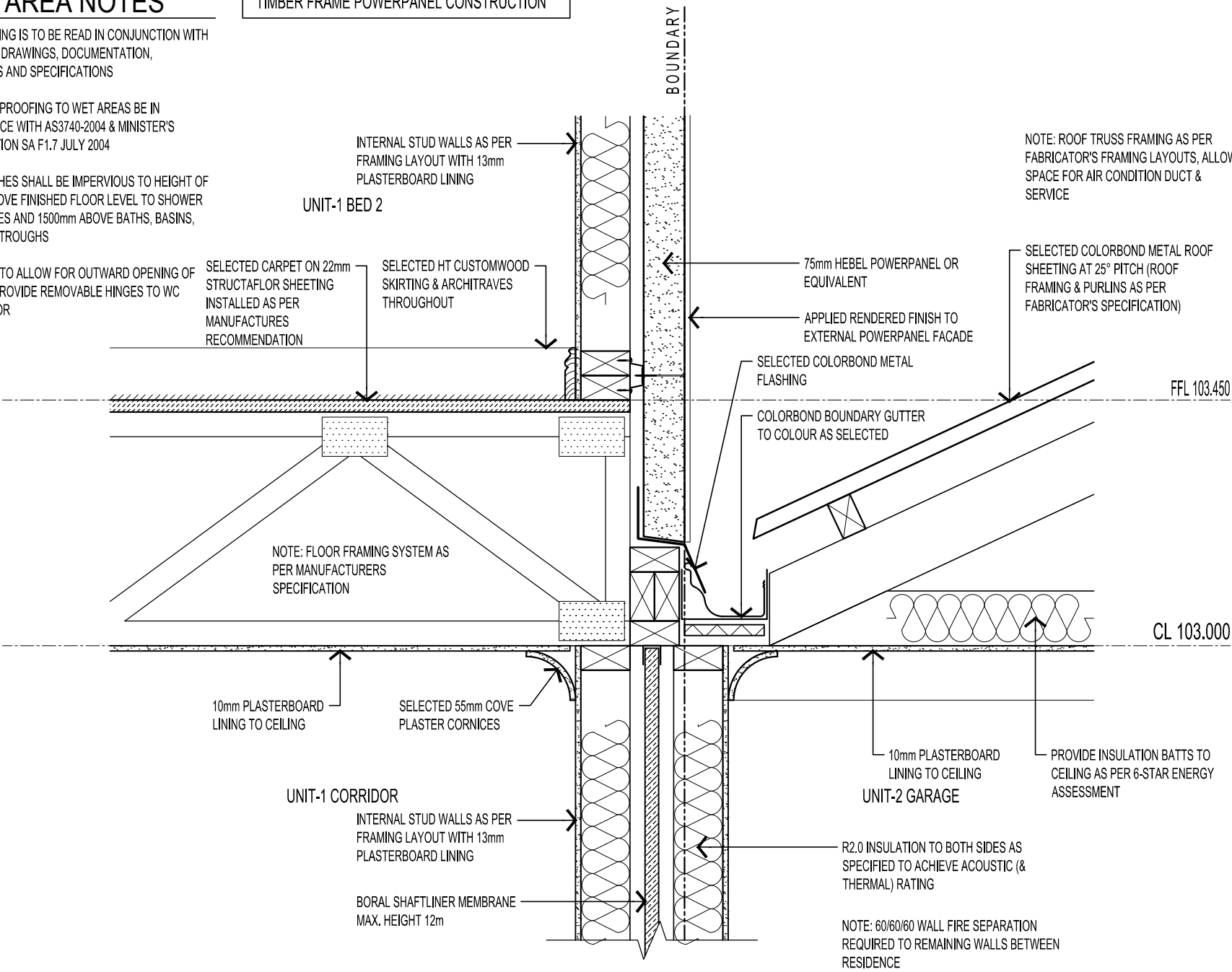
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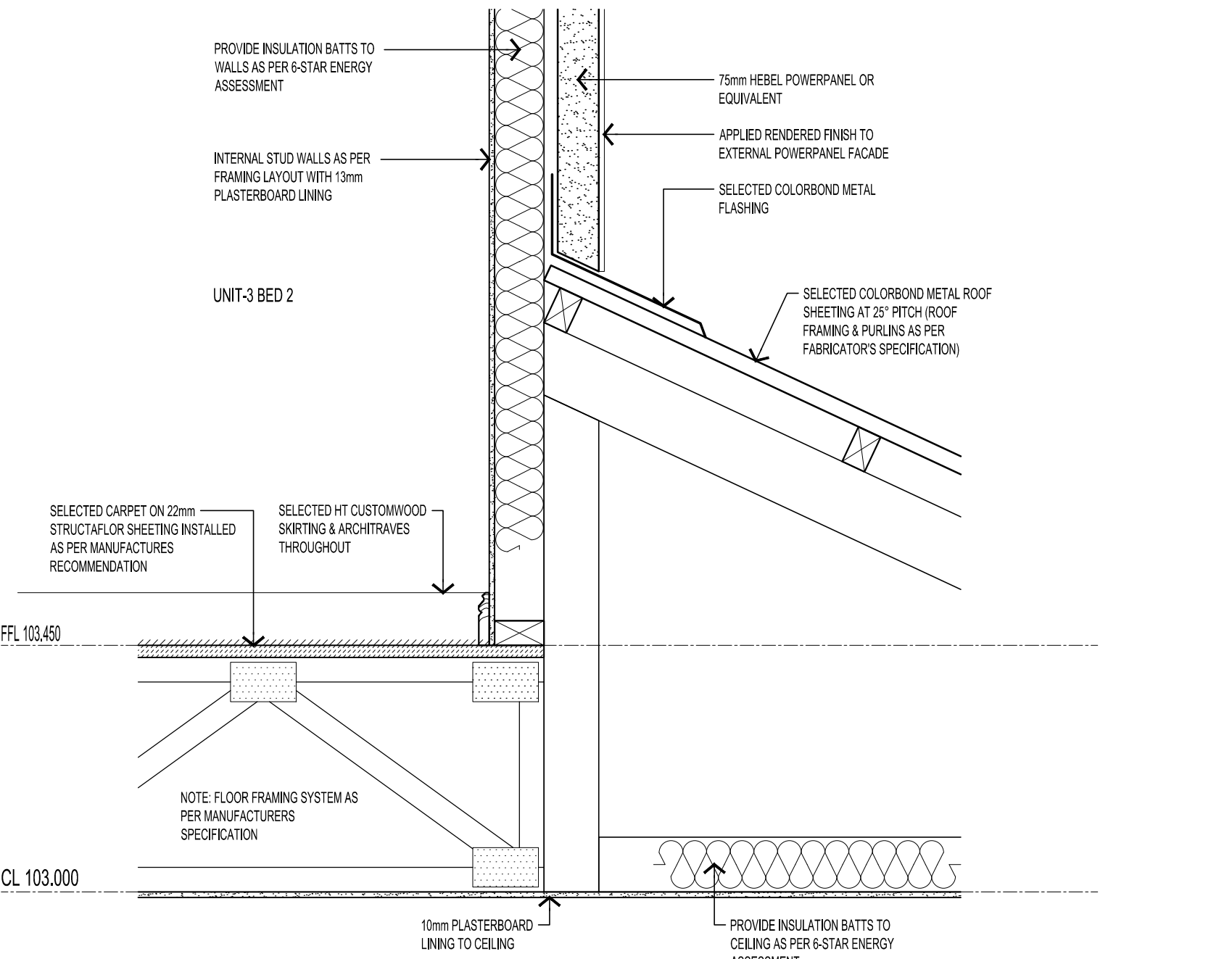
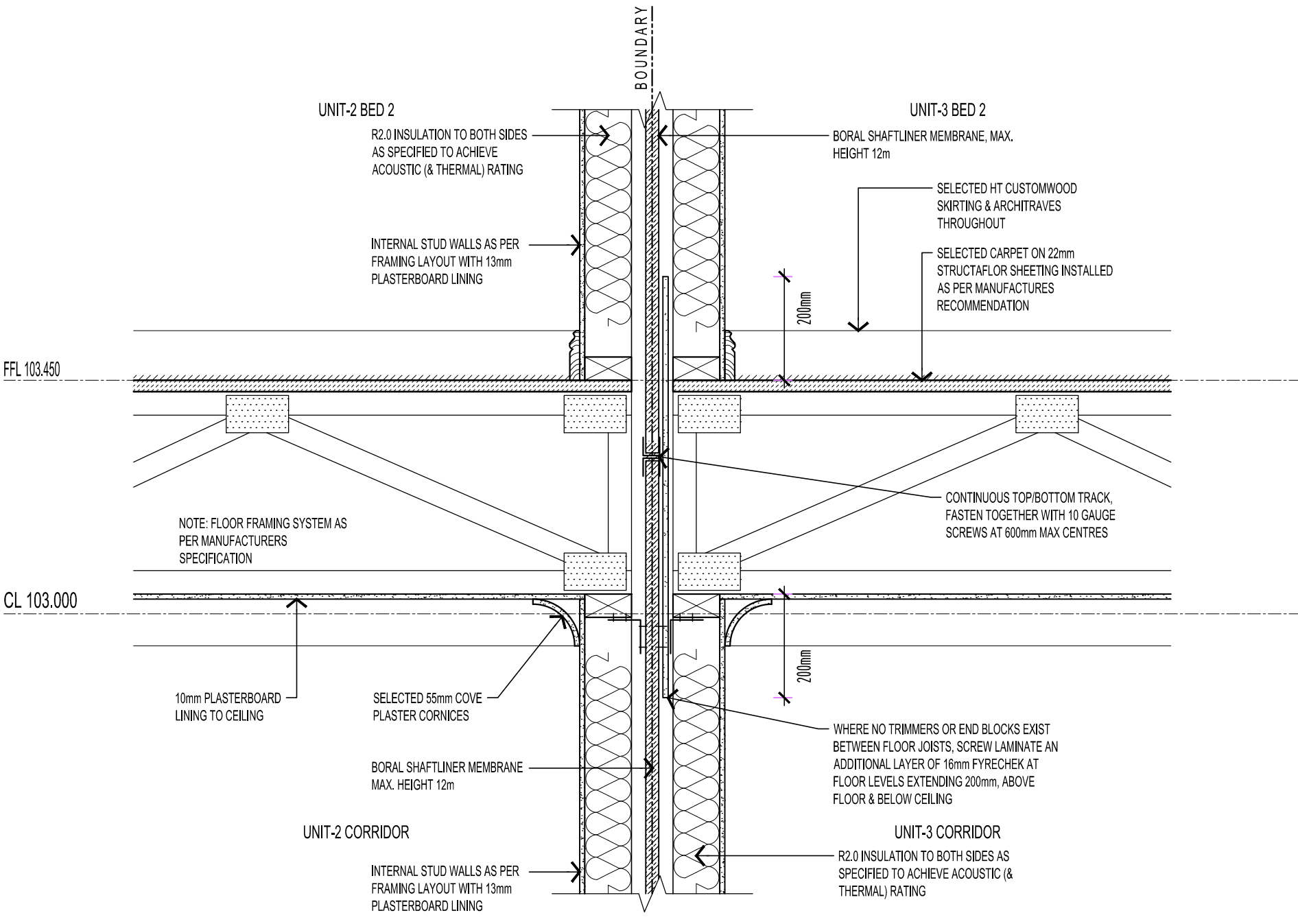
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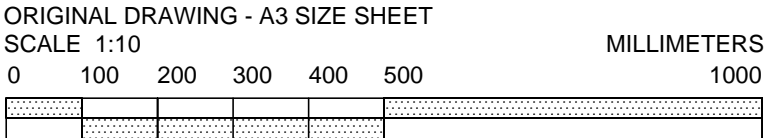
TIMBER FRAME POWERPANEL CONSTRUCTION



SECTION DETAIL 7
SCALE 1:10



SECTION DETAIL 8
SCALE 1:10



PARTI-WALL NOTES

SEPARATING PARTY WALL SYSTEM MUST ACHIEVE A WEIGHTED SOUND REDUCTION INDEX (RW) OF NOT LESS THAN 50DB

60/60/60 PARTI-WALL TO BE BORAL PARTI-WALL SYSTEM 25TP1313A WITH 1x 25mm SHAFTLINER MEMBRANE AND 1x LAYER OF 13mm SOUNDSTOP PLASTER BOARD WITH R2 GLASSWOOL BATTS (OR EQUIVALENT) ON BOTH SIDE

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SECTION NOTES

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11.09.18	FOR PLANNING APPROVAL	DF
REV	DATE	COMMENT
		DWN

FERRONE

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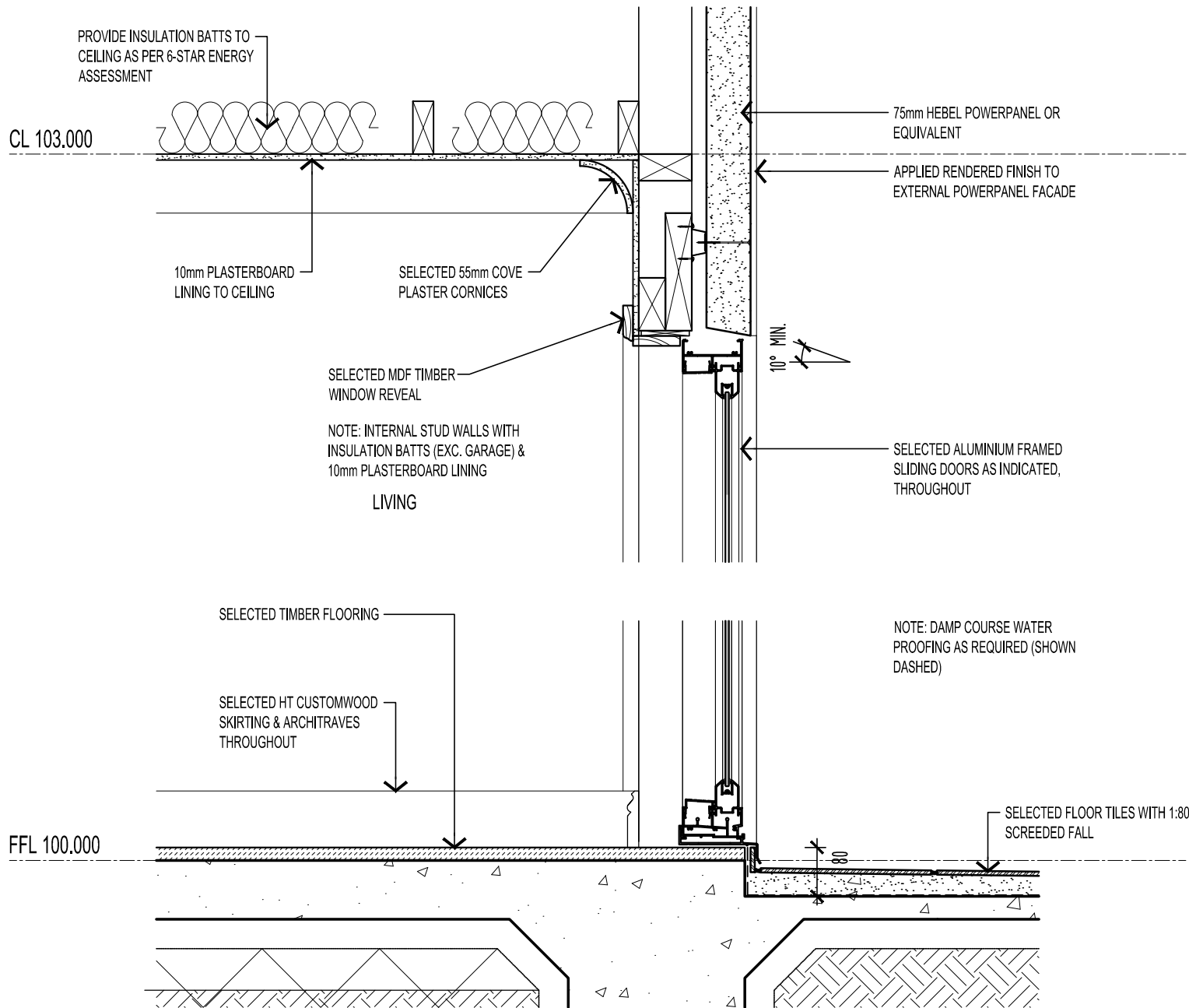
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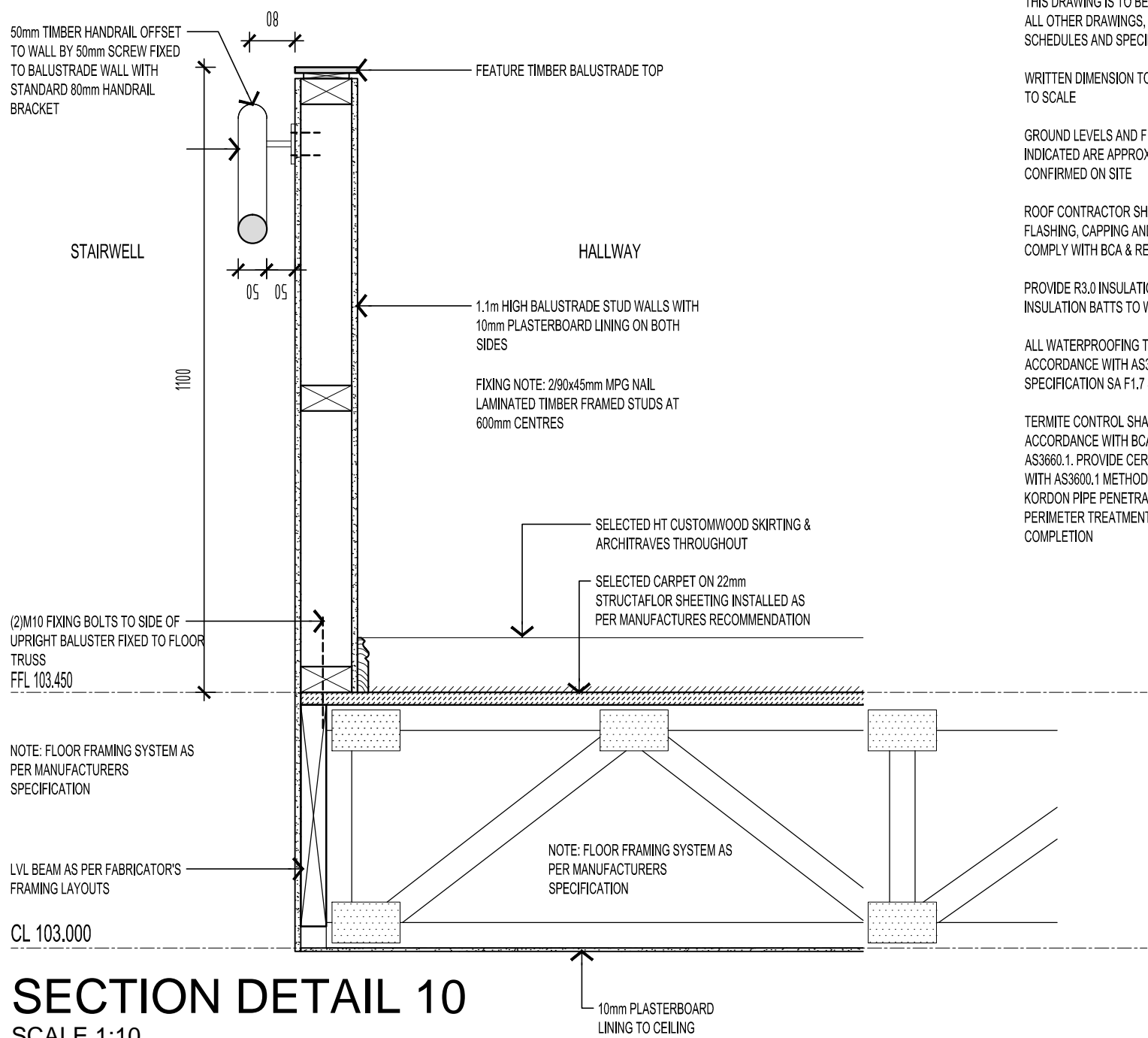
CLIENT
U. & F. FARINA FAMILY TRUST
ADDRESS
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT
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SHEET TITLE:
SECTION DETAILS

JOB REF: 17-FAR	DATE SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE 1:10	PAPER: A2
DRAWING NO. WD.503	REVISION: A

TIMBER FRAME POWERPANEL CONSTRUCTION



SECTION DETAIL 9
SCALE 1:10



SECTION DETAIL 10
SCALE 1:10

SECTION NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

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ENSURE MASONRY WALL TO BE STRAIGHT AND TRUE PRIOR TO ANY ADHESIVE METHOD OF SOUNDCHECK APPLICATION TO OCCUR

EARLY FIRE HAZARD INDICES OF WALL, FLOOR, CEILING LININGS AND AIR-CONDITIONING DUCTWORK TO COMPLY WITH CLAUSE C1.10 OF THE BCA

WET AREA NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

ALL WATERPROOFING TO WET AREAS BE IN ACCORDANCE WITH AS3740-2004 & MINISTER'S SPECIFICATION SA F1.7 JULY 2004

WALL FINISHES SHALL BE IMPERVIOUS TO HEIGHT OF 1800mm ABOVE FINISHED FLOOR LEVEL TO SHOWER ENCLOSURES AND 1500mm ABOVE BATHS, BASINS, SINKS AND TROUGHS

WC TOILET TO ALLOW FOR OUTWARD OPENING OF DOOR OR PROVIDE REMOVABLE HINGES TO WC TOILET DOOR

REV	DATE	COMMENT	DF	DWN
	11.09.18	FOR PLANNING APPROVAL		

FERRONE

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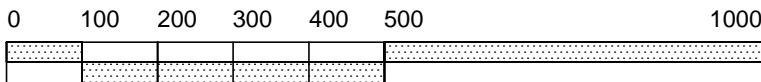
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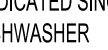
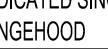
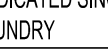

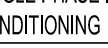



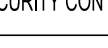
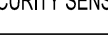
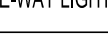
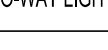
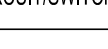

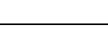
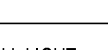

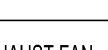
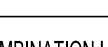
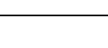
CLIENT:
U. & F. FARINA FAMILY TRUST
ADDRESS:
71 EAST AVENUE
ALLENBY GARDENS SA 5009
PROJECT:
PROPOSED 3x TWO STOREY
DWELLINGS
SHEET TITLE:
SECTION DETAILS

JOB REF: 17-FAR DRAWN: MD SCALE: 1:10 DRAWING NO: WD.504	DATE: SEPTEMBER 2018 CHECKED: DF PAPER: A2 REVISION: A
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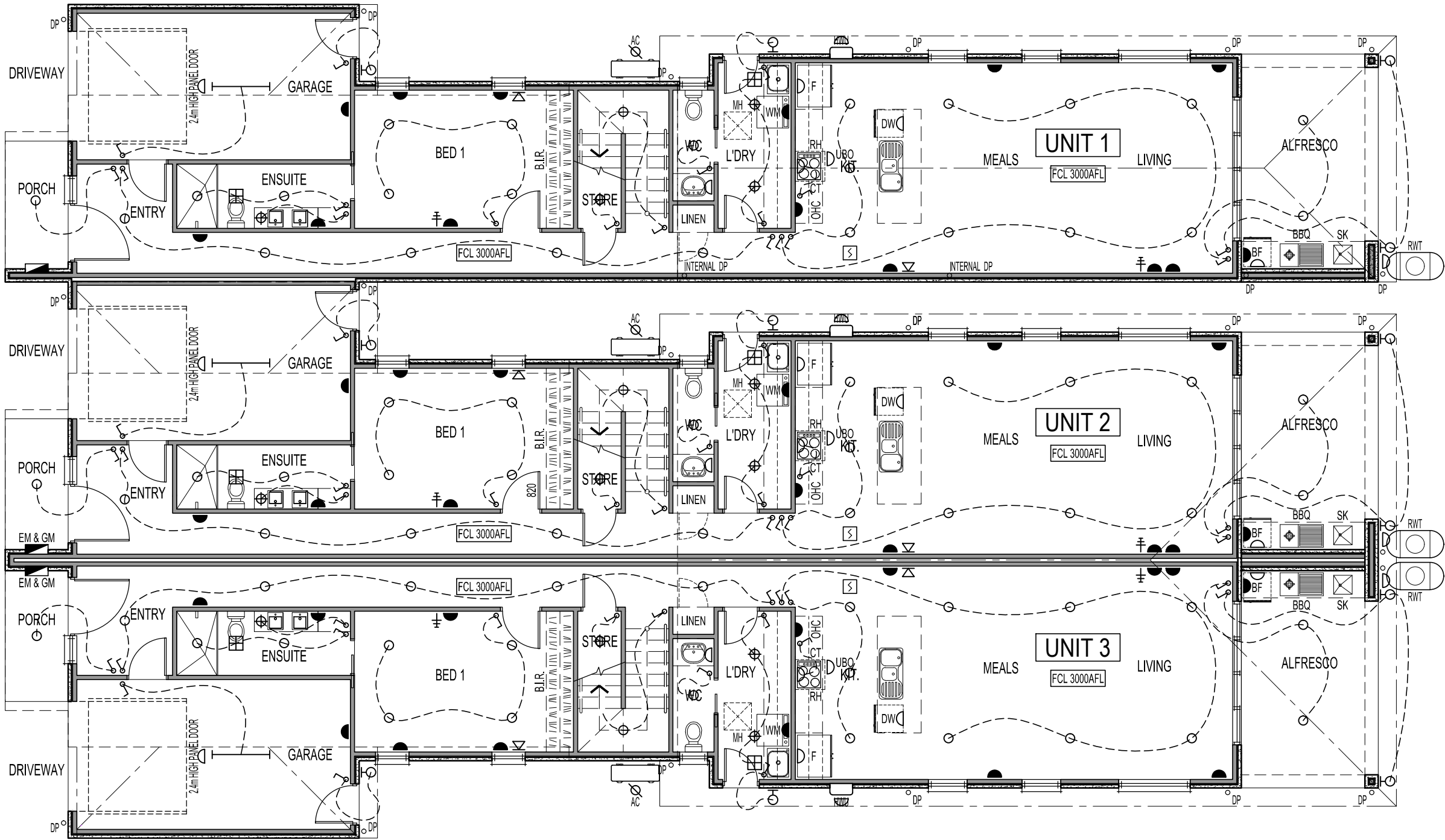
ORIGINAL DRAWING - A3 SIZE SHEET
SCALE 1:10

MILLIMETERS



ELECTRICAL LEGEND		
REFER TO FINISHES SCHEDULE (IF APPLICABLE)		LOCATION
	DISTRIBUTION BOARD	WALL MOUNTED
	ELECTRICAL METER BOX	WALL MOUNTED
	GAS METER BOX	WALL MOUNTED
	SINGLE GPO OUTLET	200mm ABOVE FFL
	DOUBLE GPO OUTLET	200mm ABOVE FFL
	WEATHERPROOF SINGLE SWITCH GPO OUTLET	1100mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR FRIDGE	1100mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR DISHWASHER	ADJACENT EQUIPMENT
	DEDICATED SINGLE GPO OUTLET FOR RANGEHOOD	1800mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR LAUNDRY	1100mm ABOVE FFL
	DEDICATED SINGLE GPO OUTLET FOR GARAGE	SURFACE MOUNTED
	SINGLE PHASE ISOLATED FOR AIR CONDITIONING	ADJACENT EQUIPMENT
	TELEPHONE OUTLET	ADJACENT EQUIPMENT
	TELEVISION ARIEL OUTLET	200mm ABOVE FFL
	SECURITY KEYPAD PANEL	1500mm ABOVE FFL
	SECURITY CONTROL PANEL	WALL MOUNTED
	SECURITY SENSOR	SURFACE MOUNTED
	ONE-WAY LIGHT SWITCH	1100mm ABOVE FFL
	TWO-WAY LIGHT SWITCH	1100mm ABOVE FFL
	CIRCUIT/SWITCH LINE	WHERE REQUIRED
	FLUORESCENT LIGHTING	SURFACE MOUNTED
	BATTEN FIX LIGHT	SURFACE MOUNTED
	RECESSED DOWNLIGHT	CEILING RECESSED
	WALL LIGHT	1800mm ABOVE FFL
	SMOKE DETECTOR	CEILING MOUNTED
	EXHAUST FAN	CEILING RECESSED
	COMBINATION LIGHT/HEAT/FAN	CEILING RECESSED

- TIMBER FRAME POWERPANEL CONSTRUCTION
- ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE
- REFER TO SECTION DETAIL FOR FIRE RATED PARTI-WALL DETAIL
- SITWORKS, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL
- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION



GROUND FLOOR ELECTRICAL LAYOUT
SCALE 1:100

LEGEND	
WC	WATER CLOSET (TOILET)
F	FRIDGE
DW	DISHWASHER
UBO	UNDER BENCH OVEN
OHC	OVERHEAD CUPBOARDS
P	PANTRY
RH	RANGE HOOD
BIR	BUILT IN ROBE
WM	WASHING MACHINE
CSD	CAVITY SLIDING DOOR
SH	SHOWER
HWU	HOT WATER UNIT
A/C	AIR CONDITIONER
RH	RAINHEAD
DP	DOWNPIPE
SPR	SPREADER DOWNPIPE
EM	ELECTRICAL METERBOARD
GM	GAS METER
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL

ELECTRICAL NOTES

ALL ELECTRICAL WORK, INCLUDING WIRING AND INSTALLATION, CARRIED OUT TO BE IN ACCORDANCE WITH AS3000

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTATION, SCHEDULES AND SPECIFICATIONS

LOCATE ALL SERVICES (UNDERGROUND OR OTHERWISE) AND ASSOCIATED PIPEWORK, CABLING, ETC. VERIFY ALL REMOVAL OR TERMINATION BEFORE COMMENCEMENT OF ANY WORK

POSITIONING OF ELECTRICAL LAYOUTS AS SHOWN ARE INDICATIVE ONLY AND SUBJECTED TO PHYSICAL CONSTRUCTION LIMITATIONS

GPO POINTS LOCATIONS TO COMPLY WITH AS3000 AND WHERE POSSIBLE BE A MINIMUM 300mm FROM FFL UNLESS WHERE APPLICABLE LOCATED IN KITCHEN, LAUNDRY AND BATHROOM WHERE GPO POINTS SHALL BE 400mm FROM THE TOP OF BENCHES, BASINS AND SINKS

SMOKE ALARM SYSTEM TO COMPLY WITH AS3786 AND TO BE POWERED FROM THE CONSUMER MAINS SOURCE WITH 9V BATTERY BACKUP

SMOKE DETECTION SYSTEM TO COMPLY WITH AS1670 AND THE BCA REQUIREMENTS

WC EXHAUST FANS TO BE CONNECTED TO WC LIGHT SWITCHES

ALL EXHAUST FANS TO BE VENTED TO OUTSIDE

MAINS ELECTRICAL METER & MAINS GAS METER SERVICES TO BE LOCATED FOR EASY ACCESS FOR READING OF METERS

A	00.09.18	FOR BUILDING APPROVAL	DF
REV	DATE	COMMENT	DWN

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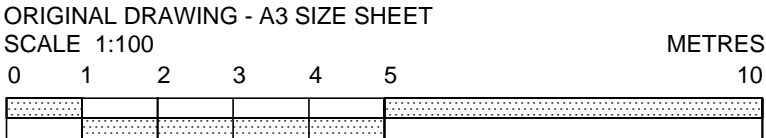
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



















ADDRESS:
71 EAST AVENUE
ALLENBY GARDENS SA 5009

PROJECT:
PROPOSED 3x TWO STOREY DWELLINGS

SHEET TITLE:
GROUND FLOOR ELECTRICAL LAYOUT

JOB REF: 17-FAR	DATE: SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE: 1:100	PAPER: A2
DRAWING NO: WD.600	REVISION: A



ELECTRICAL LEGEND		
REFER TO FINISHES SCHEDULE (IF APPLICABLE)		LOCATION
	DISTRIBUTION BOARD	WALL MOUNTED
	ELECTRICAL METER BOX	WALL MOUNTED
	GAS METER BOX	WALL MOUNTED
	SINGLE GPO OUTLET	200mm ABOVE FFL
	DOUBLE GPO OUTLET	200mm ABOVE FFL
	WEATHERPROOF SINGLE SWITCH GPO OUTLET	1100mm ABOVE FFL
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	BATTEN FIX LIGHT	SURFACE MOUNTED
	RECESSED DOWNLIGHT	CEILING RECESSED
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	COMBINATION LIGHT/HEAT/FAN	CEILING RECESSED

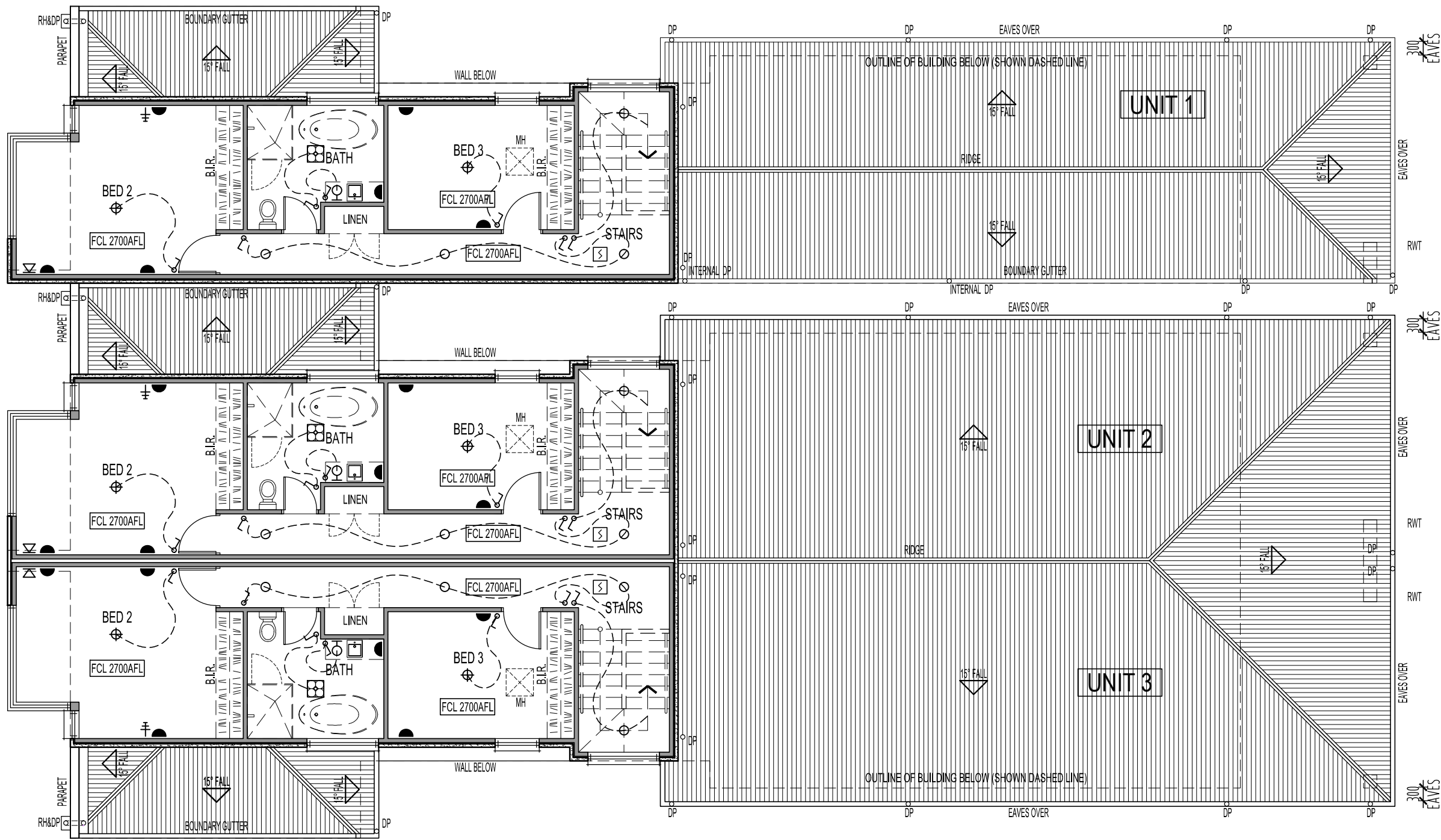
TIMBER FRAME POWERPANEL CONSTRUCTION

ALL EXHAUST FANS TO BE VENTED TO THE OUTSIDE

REFER TO SECTION DETAIL FOR FIRE RATED PARTI-WALL DETAIL

SITeworks, DRAINAGE AND LEVELS TO BE AS PER ENGINEERS DESIGN AND DETAIL

BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION



SECOND FLOOR ELECTRICAL LAYOUT

SCALE 1:100

LEGEND	
WC	WATER CLOSET (TOILET)
F	FRIDGE
DW	DISHWASHER
UBO	UNDER BENCH OVEN
OHC	OVERHEAD CUPBOARDS
P	PANTRY
RH	RANGE HOOD
BIR	BUILT IN ROBE
WM	WASHING MACHINE
CSD	CAVITY SLIDING DOOR
SH	SHOWER
HWU	HOT WATER UNIT
A/C	AIR CONDITIONER
RH	RAINHEAD
DP	DOWNPIPE
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EM	ELECTRICAL METERBOARD
GM	GAS METER
FFL	FINISHED FLOOR LEVEL
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A	00.09.18	FOR BUILDING APPROVAL	DF
REV	DATE	COMMENT	DWN

FERRONE

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CLIENT:
U. & F. FARINA FAMILY TRUST

ADDRESS:
**71 EAST AVENUE
ALLENBY GARDENS SA 5009**

PROJECT:
**PROPOSED 3x TWO STOREY
DWELLINGS**

SHEET TITLE:
SECOND FLOOR ELECTRICAL LAYOUT

JOB REF: 17-FAR	DATE: SEPTEMBER 2018
DRAWN: MD	CHECKED: DF
SCALE: 1:100	PAPER: A2
DRAWING NO: WD.601	REVISION: A

ORIGINAL DRAWING - A3 SIZE SHEET
SCALE 1:100

